

Submitted by: Chair of the Assembly at  
the Request of the Mayor  
Prepared by: Planning Department  
For reading: April 18, 2006

CLERK'S OFFICE

APPROVED

Date: 5-2-06 ANCHORAGE ALASKA  
AO NO. 2006- 59

1 AN ORDINANCE AMENDING THE HILLSIDE WASTEWATER MANAGEMENT  
2 PLAN, ANCHORAGE MUNICIPAL CODE 21.05.030.D.4., TO ADD TO THE AREA  
3 RECOMMENDED FOR PUBLIC SEWERAGE THE 5.84-ACRE TRACT 1 OF  
4 PTARMIGAN ROOST SUBDIVISION, GENERALLY LOCATED EAST OF GOLDEN  
5 VIEW DRIVE IN THE SOUTH HILLSIDE AREA.

6  
7 THE ANCHORAGE ASSEMBLY ORDAINS:

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9 **Section 1.** The Hillside Wastewater Management Plan, Anchorage Municipal Code  
10 Section 21.05.030.D.4., is hereby amended to add to the area recommended for public  
11 sewerage the 5.84-acre Tract 1 of Ptarmigan Roost Subdivision, generally located east of  
12 Golden View Drive in the south Hillside area.

13  
14 **Section 2.** This ordinance shall become effective immediately upon passage and  
15 approval by the Anchorage Assembly.

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17 PASSED AND APPROVED by the Anchorage Assembly this 2nd day of  
18 May 2006.

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22 Daniel A. Sullivan  
23 Chair  
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25 ATTEST:

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28 Barbara S. Bower  
29 Municipal Clerk  
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**MUNICIPALITY OF ANCHORAGE**  
**Summary of Economic Effects -- General Government**

AO Number: 2006- 59

Title: AN ORDINANCE AMENDING THE HILLSIDE WASTEWATER MANAGEMENT PLAN, ANCHORAGE MUNICIPAL CODE 21.05.030.D.4., TO ADD TO THE AREA RECOMMENDED FOR PUBLIC SEWERAGE THE 5.84-ACRE TRACT 1 OF PTARMIGAN ROOST SUBDIVISION, GENERALLY LOCATED EAST OF GOLDEN VIEW DRIVE IN THE SOUTH HILLSIDE AREA. (PZC Case 2006-018)

Sponsor:

Preparing Agency: Planning Department

Others Impacted:

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**CHANGES IN EXPENDITURES AND REVENUES:**

(In Thousands of Dollars)

	<u>FY06</u>	<u>FY07</u>	<u>FY08</u>	<u>FY09</u>	<u>FY10</u>
<b>Operating Expenditures</b>					
1000 Personal Services					
2000 Non-Labor					
3900 Contributions					
4000 Debt Service					
<b>TOTAL DIRECT COSTS:</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>
Add: 6000 Charges from Others					
Less: 7000 Charges to Others					
<b>FUNCTION COST:</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>

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**REVENUES:**

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**CAPITAL:**

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**POSITIONS: FT/PT and Temp**

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**PUBLIC SECTOR ECONOMIC EFFECTS:**

Approval of this amendment should have no significant economic impact on the public sector.

**PRIVATE SECTOR ECONOMIC EFFECTS:**

Approval of this amendment should have no significant economic impact on the private sector except for the property owner.

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Prepared by: JoAnn Contreras, Senior Planner

Telephone: 343-7921



# MUNICIPALITY OF ANCHORAGE

## ASSEMBLY MEMORANDUM

No. AM 260 -2006

Meeting Date: April 11, 2006

**From:** MAYOR

**Subject:** AN ORDINANCE AMENDING THE HILLSIDE WASTEWATER MANAGEMENT PLAN, ANCHORAGE MUNICIPAL CODE 21.05.030.D.4., TO ADD TO THE AREA RECOMMENDED FOR PUBLIC SEWERAGE THE 5.84-ACRE TRACT 1 OF PTARMIGAN ROOST SUBDIVISION, GENERALLY LOCATED EAST OF GOLDEN VIEW DRIVE IN THE SOUTH HILLSIDE AREA.

Judy and Randy Eledge, owners, have petitioned to amend the *Hillside Wastewater Management Plan (HWMP)*. The petitioner proposes to add Tract 1 of Ptarmigan Roost Subdivision, a 5.84-acre tract, to the sewer service area. The tract is located east of Golden View Drive in the south Hillside area.

With approval of the amendment to the *HWMP*, the petitioner proposes to develop this tract with a four-unit condominium to be served with public sewer and water extended from Prominence Point Subdivision, located south of the petition site.

The Planning and Zoning Commission approved the *HWMP* amendment with no minimum density required by the amendment, and maximum density to be established by the zoning. The favorable action was based on consideration of the area's sloping terrain and shallow bedrock, and the potential risk of contamination to the local aquifer by on-site wastewater disposal.

THE ADMINISTRATION CONCURS WITH THE FINDINGS AND ACTION OF THE PLANNING AND ZONING COMMISSION TO AMEND THE *HILLSIDE WASTEWATER MANAGEMENT PLAN*, ANCHORAGE MUNICIPAL CODE 21.05.030.D.4., TO ADD TO THE AREA RECOMMENDED FOR PUBLIC SEWERAGE THE 5.84-ACRE TRACT 1 OF PTARMIGAN ROOST SUBDIVISION, GENERALLY LOCATED EAST OF GOLDEN VIEW DRIVE IN THE SOUTH HILLSIDE AREA.

Prepared by: Tom Nelson, Director, Planning Department  
Concurred by: Mary Jane Michael, Executive Director  
Office of Economic and Community Development  
Concurred by: Denis C. LeBlanc, Municipal Manager  
Respectfully submitted: Mark Begich, Mayor

Attachments: Planning & Zoning Commission Resolution No. 2006-016  
Planning & Zoning Commission Meeting Minutes of March 6, 2006  
Map A, Hillside Wastewater Management Plan Sewerage Service Areas  
Planning & Zoning Commission Staff Packet for Case 2006-018

Planning & Zoning Commission  
Resolution No. 2006-016

HWMP Amendment  
Ptarmigan Roost  
(Case 2006-018)

**MUNICIPALITY OF ANCHORAGE**  
**PLANNING AND ZONING COMMISSION RESOLUTION NO. 2006-016**

A RESOLUTION RECOMMENDING APPROVAL OF AN AMENDMENT TO THE HILLSIDE WASTEWATER MANAGEMENT PLAN TO ADD TO THE AREA RECOMMENDED FOR PUBLIC SEWERAGE THE 5.84-ACRE TRACT 1 OF PTARMIGAN ROOST SUBDIVISION, GENERALLY LOCATED EAST OF GOLDEN VIEW DRIVE IN THE SOUTH HILLSIDE AREA.

(Case 2006-018; Tax Numbers 020-042-82)

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WHEREAS, a request was received from the Randy and Judy Eledge to amend the *Hillside Wastewater Management Plan (HWMP)* to add to the area recommended for public sewerage the 5.84-acre Tract 1 of Ptarmigan Roost Subdivision, generally located east of Golden View Drive in the south Hillside area; and

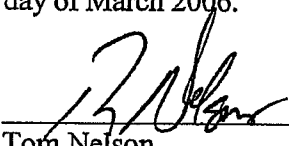
WHEREAS, notices were published, posted, and mailed; and a public hearing was held on March 6, 2006.

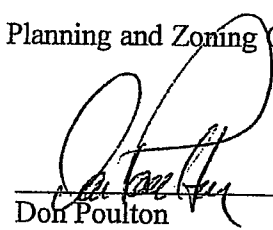
NOW, THEREFORE, BE IT RESOLVED by the Anchorage Planning and Zoning Commission that:

- A. The Commission makes the following findings of fact:
  - 1. The Commission accepted staff's recommendation and analysis with these findings:
    - a. The requested amendment is generally consistent with established policies and plans related to the request.
    - b. The requested amendment will help support an efficient use of the sewer collection system.
    - c. The subject tracts are in an area characterized by sloping terrain and shallow bedrock, with evidence of shallow groundwater.
    - d. The requested amendment could help minimize the risk of contamination to the local aquifer by on-site wastewater disposal.
    - e. There is a concern about public health regarding water quality and contamination, and there is a responsibility to adjoining properties and the community in that regard.
  - 2. There is no minimum density required by the amendment, and maximum density will be established by the zoning.

- B. The Commission recommends to the Anchorage Assembly approval of an amendment to the *HWMP* to add the petition area to the Area Recommended for Public Sewerage.

PASSED AND APPROVED by the Anchorage Planning and Zoning Commission this 6th day of March 2006.

  
\_\_\_\_\_  
Tom Nelson  
Secretary

  
\_\_\_\_\_  
Don Poulton  
Chair

(2006-018)  
(020-042-82)

Planning & Zoning Commission Meeting  
Minutes from March 6, 2006

HWMP Amendment  
Ptarmigan Roost  
(Case 2006-018)

~~that this is a plan and, by nature, it is likely that things will change in out years.~~

~~CHAIR POULTON stated he also attended the worksession on the CIP and agreed with Commissioner Isham's statement. He noted that a great deal of work goes into this effort each year and he felt the ASD does its job well.~~

~~AYE: Isham, Pease, Jones, Poulton, Wielechowski, Debenham, Cotten, Wang~~

~~NAY: None~~

~~PASSED~~

## **G. PUBLIC HEARINGS**

### **4. 2006-018**

Randall & Judy Eledge. An amendment to the Hillside Wastewater Management Plan (HWMP) to include a 5.84-acre tract described as Tract 1, Ptarmigan Roost Subdivision within the recommended public sewerage area. Located east of Sandpiper Drive, south of Far View Place and north of Prominence Pointe Subdivision.

Staff member JOANN CONTRERAS explained this request is to include a small tract into the HWMP sewerage area. The HWMP was adopted in 1982 and is intended to provide guidance for land use, public sewerage, and on-site wastewater services for the Hillside area. According to the Plan, public sewer is to be extended into those areas located within the recommended sewerage service area. Areas outside that boundary are to rely on on-site wastewater disposal systems. Exceptions to the HWMP are to go before the Commission and are then forwarded to the Assembly. Since 1982 there have been approximately one dozen amendments, primarily to include areas within the sewerage area. This site is located off of Sandpiper Road. To the south is Prominence Pointe Subdivision. At least 53 acres of that subdivision was at one point outside the sewerage area and in 1997 was approved for extension of public sewer and water. Water and sewer to serve the petition site would be extended from Prominence Pointe. Easements have been obtained from adjacent landowners to the south in order facilitate extension of water and sewer. The petitioner has also worked with utility companies to obtain co-easements and with the AWWU and On-Site Services, both of which support this request. The HWMP



looks at sites with difficult environmental considerations such as steep slopes, shallow water, and shallow bedrock. According to On-Site Services, this site could probably support on-site services, but it would be appropriate to extend public sewer and water in order to mitigate concerns with contamination to downhill properties. This subdivision is located in an area surrounded on two sides by R-6. The Department has no objections to this application. There were no objections from reviewing agencies. The Rabbit Creek Community Council supports the request; they had other concerns that relate to the building permit. The applicant has requested a building permit for four units on the site and the site can accommodate four units.

The public hearing was opened.

JUDY ELEDGE, petitioner, complimented the city for their assistance, noting that Ms. Contreras walked her through this process. She stated she would live on this property. She stated she was given all the information she needed to talk with AWWU and other landowners.

JOHN PENN, resident of Ptarmigan Roost Subdivision, appreciated that the petitioner spent time to get this done. Unfortunately, there are covenants and this petitioner wants to build a four-unit condominium on a site that is not suitable for that use. The lot is large, but he did not think it is suitable for a multi-family development. He understood the MOA is not in the business of enforcing covenants, but he felt the MOA should not be in the business of overriding covenants.

CHAIR POULTON noted that this request is for inclusion of this property within the sewerage boundary.

COMMISSIONER WIELECHOWSKI asked if there has been research whether this request violates covenants. MS. CONTRERAS stated the MOA does not enforce covenants. She understood there is a homeowners association, but some individuals have indicated it has been defunct for some years. She noted this is an R-6 lot, the size of which allows four units.

COMMISSIONER DEBENHAM asked if the speaker does not object to extending public services, but rather to the density of the development. MR. PENN replied that the Ptarmigan Roost Subdivision requires one home per lot. He stated he would be happy to lend his support to extension of public sewer, but that is desired because the petitioner does not want to do four septic systems, which could not be accommodated on the property. He stated

there would be no request for public water and sewer if a condominium were not planned.

CHRIS AREND, resident of Ptarmigan Roost Subdivision, understood the petitioner has a letter addressing the covenants and he asked if she was going to enter that into the record. He explained his concern was that the only choice offered in order to extend public water and sewer was if there are condominiums, but that there would be septic if there are homes. He asked why there was not discussion of single-family homes with public water and sewer.

BRIAN CASSIDY, resident on Sandpiper, stated that when he and his wife bought their property approximately one year ago they did so in consideration of the covenants. They were not aware there was the possibility of a 12,000 square foot commercial building being built in their back yard. He was concerned over this potential situation.

COMMISSIONER PEASE asked regarding point 3 in the letter from the Rabbit Creek Community Council whether the burial of sewer lines would impact drainage. The Council's letter indicates that 5 of the 7 soil tests encountered water running on bedrock and that the engineer's report stated the belief that the groundwater was a permanent condition. She asked if the city has confirmed that the burial of lines would not create drainage problems. MS. CONTRERAS stated drainage is addressed during the building permit process. She has discussed this with staff at Project Management and Engineering (PM&E). There is shallow water on this site and PM&E felt that was another good reason for extending public water, to reduce the potential of contamination from septic systems. COMMISSIONER PEASE understood that a building permit typically addresses the building. She asked if there is a building permit for the burial of water and sewer lines. MS. CONTRERAS replied that with approval of the request before the Commission, the petitioner will have to submit plans to AWWU to extend the lines along the west boundary of their property where less bedrock and less vegetation would be disturbed.

In rebuttal, MS. ELDERIDGE stated she has spoken with some people in the subdivision and is aware that it is possible to subdivide this property into four lots. However, she felt this proposal was less disruptive to the land, including a 200-year old spruce tree. As few trees as possible are being cut in order to reduce the impacts in terms of drainage and in terms of visual appearance.

The public hearing was closed.

COMMISSIONER PEASE moved for approval of case 2006-018, an amendment to the Hillside Wastewater Management Plan to include a 5.84-acre tract described as Tract 1, Ptarmigan Roost Subdivision within the recommended public sewerage area. COMMISSIONER JONES seconded.

COMMISSIONER PEASE asked whether, given that in the past there has been a condition of higher density attached to sewer lines and some of the maps attached to this case single out areas where density has changed as a result of public sewerage, it is possible to tie this approval to a density of development. COMMISSIONER JONES thought the Commission could tie the approval to a density in keeping with the intent of the HWMP, but could not address covenants.

MS. CONTRERAS noted that this property is in R-6, which requires 1.25 acres for one unit and it has nearly six acres. The petitioner's proposal is four units, which is less than one DUA.

CHAIR POULTON understood Commissioner Pease's intent to tie this to a density, but noted that what is before the Commission in terms of density and future plans on this property is anecdotal. Only the issue of extension of sewer service is before the Commission.

COMMISSIONER PEASE proposed a condition that the R-6 zoning be retained on the premise that in the past public sewer has been the catalyst for increased density. She felt that, given the site conditions as documented by engineering studies and public comments, this site has issues that merit lower density. She recommended amending the motion to tie the sewerage extension to continuation of the R-6 density. *The second had no objection to the amendment.* However, COMMISSIONER DEBENHAM noted that the current zoning is R-6 and the amendment is to retain that zoning. He asked what is the rationale behind the amendment. COMMISSIONER PEASE noted that the parcel is on the boundary of R-6 zoning and R-7 zoning, so with public sewer available it is conceivable that a future owner might want to increase density. COMMISSIONER DEBENHAM asked that this amendment be made formally and put to a vote.

COMMISSIONER PEASE moved to amend the motion to make the extension of sewer contingent on retention of the R-6 zoning. COMMISSIONER ISHAM seconded.

COMMISSIONER COTTEN asked if this amendment would restrict the land from being rezoned from R-6 at any time in the future. COMMISSIONER PEASE understood this would be the result of the motion.

COMMISSIONER ISHAM did not support the motion, commenting that extending sewer has nothing to do with density.

COMMISSIONER WANG agreed that the amendment pre-judges matters that might come before the body in the future and he, therefore, did not support it.

COMMISSIONER DERBENHAM felt there should not be a linkage between extension of the sewerage area and density. A rezoning request could come before this body in the future and would be addressed at that time.

CHAIR POULTON also did not support the amendment for the reasons stated.

Amendment

AYE: Pease, Wielechowski

NAY: Isham, Jones, Poulton, Debenham, Cotten, Wang

FAILED

Main Motion

AYE: Isham, Pease, Jones, Poulton, Wielechowski, Debenham, Cotten, Wang

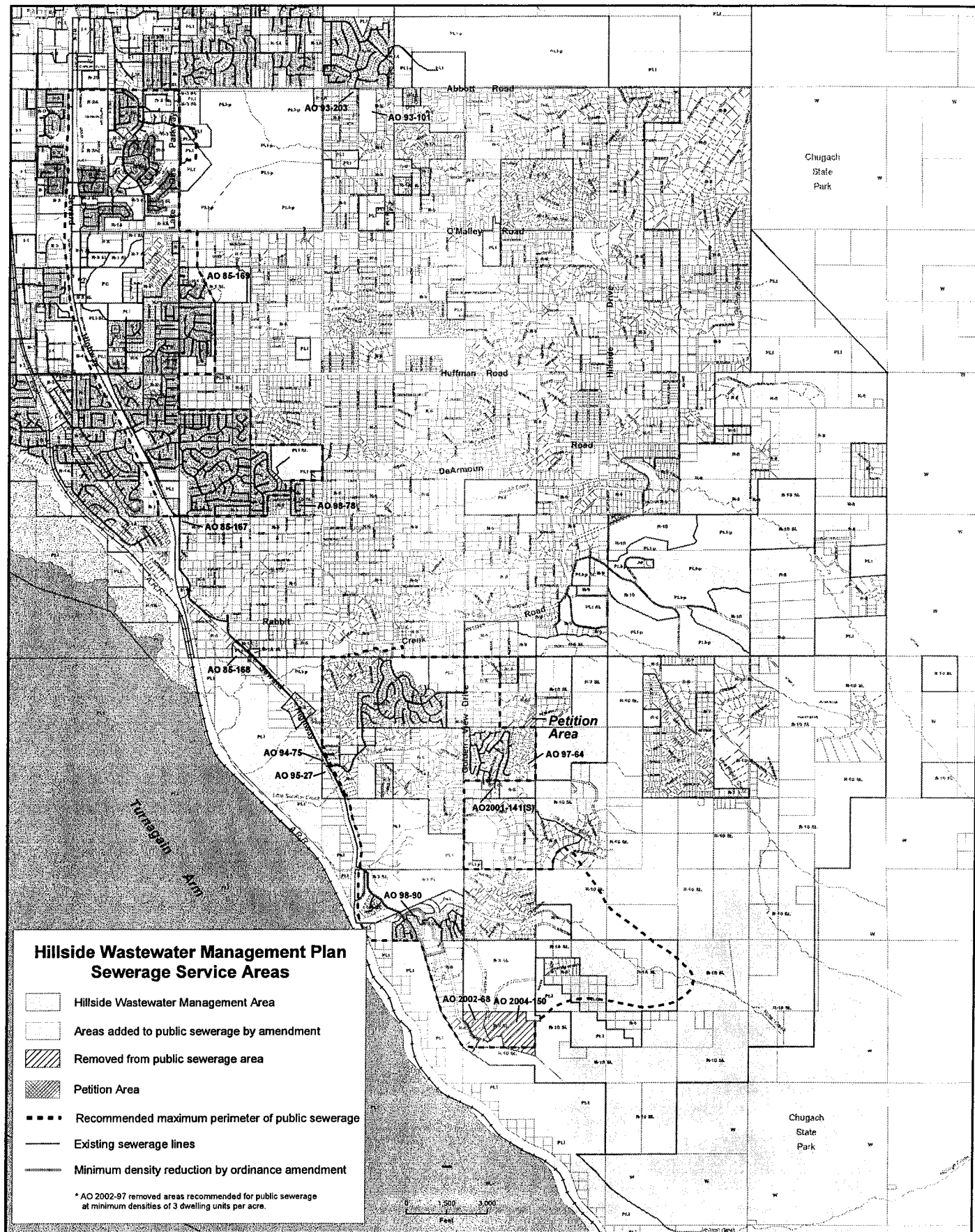
NAY: None

PASSED

**2. 2006-010**

Wal-Mart Stores Inc. A request to rezone approximately 53.52 acres from I-1 (Light Industrial), R-2M (Multiple Family Residential) and R-3 (Multiple Family Residential) to B-3SL (General Business with Special Limitations) and PLI (Public Lands and Institutions). Located north of Debarr Road and west of Muldoon Road.

Staff member MARY AUTOR stated that 174 public hearing notices were mailed, 3 were returned as undeliverable, 35 were returned in opposition, and there were 2 "other" comments, as well as several



March 1, 2006

Planning & Zoning Commission  
Staff Packet for Case 2006-018

HWMP Amendment  
Ptarmigan Roost  
(Case 2006-018)

*Municipality of Anchorage*


**MEMORANDUM**


**G.4.**

---

**DATE:** March 6, 2006

**TO:** Planning and Zoning Commission

**THRU:**  Tom Nelson, Director  
Planning Department

**FROM:**  JoAnn Contreras, Senior Planner  
Physical Planning Division

**SUBJECT:** Case 2006-018 Hillside Wastewater Management Plan Amendment

**AMENDMENT REQUEST**

A request has been submitted by Judy and Randy Eledge, property owners, to amend the *Hillside Wastewater Management Plan (HWMP)*, as it applies to Ptarmigan Roost, Tract 1, a 5.84-acre tract, located in the Hillside area north of Prominence Point Subdivision, Phase 8, Block 6, Lots 36 and 37, west of Shangri-La Estates Subdivision, and at the southern end of Far View Place. The requested amendment is to include the petition site entirely within the sewerage service area boundary.

The owner has applied for a building permit (#056202) to construct a four-unit attached structure at an approximate density of less than 1 du/a. In accordance with AMC 21.40.080 F (d), a four-unit attached structure is permitted on an R-6 lot having a minimum lot area of 217,800 square feet (5 acres). The structure will be located in the flattest area in the central to northern portion of the tract, where vegetation was previously cleared, thus minimally disturbing existing mature vegetation.

Public services for water and sewer are located to the south in Prominence Point Subdivision. The owner has obtained permission from the two affected property owners to the south and letters of non-objection from the affected utility companies to overlap easements needed to extend the utilities to this tract. The lines would be extended along the western portion of the lot where there are more shrubs and less mature vegetation to be disturbed; the applicant has noted that bedrock in this area is located at approximately 10 feet; whereas, in other locations on the site, such as the northeastern portion there is bedrock at 3 to 4 feet and at the southeastern corner there is visible bedrock. If the public services are made available, a fire hydrant will be installed near the cul-de-sac driveway turnaround, which would serve the petition site as well as adjacent properties.

**HWMP AMENDMENT PROCESS**

As an element of the *Anchorage Bowl Comprehensive Plan*, the *HWMP* is intended to provide guidance for land use, public sewerage, and on-site wastewater services planning for the Hillside area. According to the plan, public sewer is to be extended to those areas located within the recommended sewerage service area boundary. Areas outside the boundary are to rely on on-site wastewater disposal systems.

Exceptions to this policy may be considered through a formal amendment process. Any request for an amendment must provide a reasonable justification for the amendment and a discussion of potential impacts on adjacent areas. Various municipal agencies are asked to review and comment on the request. Affected community councils and surrounding property owners are also notified and provided an opportunity to comment. A public hearing on the requested amendment is held before the Planning and Zoning Commission, which forwards its recommendation to the Assembly.

## **BACKGROUND ON *HWMP***

The *HWMP* was implemented by AO 82-52 on May 18, 1982 as an element of the Municipality of Anchorage Comprehensive Plan. The *HWMP* was initiated because of concerns about the potential contamination of streams and groundwater in the Hillside area. The study assessed the performance of existing on-site wastewater disposal systems and the best means for achieving wastewater disposal in the Hillside area.

During the course of the study, various Hillside environmental characteristics that affect the function of on-site treatment systems were evaluated. Alternative treatment systems were investigated. The study identified areas where on-site systems might function properly and areas where they might not. Based on the analysis, an action plan was developed that recommended the provision of sewerage service to certain Hillside areas. In addition, new regulations and procedures were called for to better assure the continued viability of on-site systems in those areas outside the recommended service area boundary.

The adopted recommendations in the *HWMP* address the issue of wastewater disposal by different geographic areas of the Hillside. The Plan, which was developed with broad public participation, acknowledges the desire to protect the low-density character of much of the Hillside. However, it also recognizes the need to provide a certain amount of land with public utility infrastructure to accommodate higher-density housing development.

In most areas to be served with public sewer, development was to occur at a minimum 3 dwelling units per acre (dua). This density requirement was intended to help implement the housing objectives of the 1982 *Anchorage Bowl Comprehensive Development Plan* and assure efficient use of newly extended sewer infrastructure. In 2002, the Assembly adopted AO 2002-97, which removed the requirement to have a minimum 3 dua in areas suitable for sewerage as recommended in the 1982 *HWMP*.

Much of the southern and western, or lower Hillside, area is included in the sewerage service area boundary; whereas, most of the central and eastern, or upper Hillside, area remains outside the boundary.

## **SITE DESCRIPTION**

Tract 1, Ptarmigan Roost was created in 1971 by Plat 71-214 as a part of the original Ptarmigan Roost Subdivision. The tract shape is a 30-foot wide flag configuration with the flag portion coming off Sand Piper Drive. Subsequent to this platting action, the property to the east was platted (Plat 90-50) with a 30-foot half dedication called Far View Place. Access to the site is via the 30-



foot flag and Far View Place. The petition site is zoned R-6 (suburban residential district). The proposed use of the property is for a four-unit condominium at a density of less than 1 du/a.

The site is also immediately north of Prominence Pointe Subdivision, Phase 8, which is served by both public sewer and water. The sewerage system serving the area consists of 8-inch and 12-inch lines. The sewer collection system connects to the 12-inch line that was extended from the Old Seward Highway to serve Goldenview Middle School and adjoining residential subdivisions, Goldenview Park and Prominence Pointe. The capacity of the existing system is adequate to serve this site.

The petitioner for the previous Prominence Pointe *HWMP* amendment submitted detailed geotechnical information, which was corroborated by previous technical studies of the U.S. Geological Survey and Soil Conservation Service. That data showed subsurface conditions as generally free of shallow bedrock and groundwater relative to installation of on-site wastewater systems. Although the soils are a mixture of silty sand and gravel, the density of the soil coupled with steep slope would still make the use of on-site systems difficult. Soil, bedrock, and groundwater conditions in the western portion of Prominence Pointe were found much more unsuitable for on-site systems. This unsuitability led to its inclusion within the sewerage service area boundary at the initial adoption of the *HWMP*. The request to include the eastern 53-acre site in the service area was found to be consistent with established policies and plans with provision of a more efficient use of the sewer collection system and lowered risk of groundwater contamination for the wells on nearby or down slope properties.

A soils investigation report and seven soils tests provided by Michael Anderson Engineering showed soils types, bedrock locations and water table for the petition site. Bedrock was observed in Test Holes # 1 and #2 in the northern portion of the site; Test Holes #3 through #6 were drilled in the flat area to the southwest for possible on-site septic system design. The surface soils consisted of inorganic silts in the top 2 to 3 feet then changed to sandy gravels for the remainder of the 10 foot test pit. Groundwater was observed consistently at the bottom of the hole, running on top of the bedrock. It is anticipated that this groundwater in test pits #3 through #17 is permanent.

Groundwater, bedrock and soils conditions are consistent with soils and conditions in the eastern portion of Prominence Pointe. The On-Site Services Section, which is responsible for the issuance of on-site water and wastewater disposal permits, commented (verbally on 2/23/06) that the limited soils information provided indicated the petition area could probably support on-site wastewater disposal systems. However, On-Site Services went on to note that, due to high ground water in the Goldenview area, with the availability of public sewer to the property, the chances of any contamination of the local aquifers or risks to public health caused by on-site wastewater disposal would be minimized.

The property has limitations such as steep slopes, shallow bedrock, and high winds. The *HWMP* describes unsuitable areas as those areas where wetlands, high (or seasonally high) water table, shallow or surface bedrock, organic soils, and/or steep slopes generally preclude the use of on-site water treatment and disposal systems. However, the *HWMP* notes the practicality of lots for such systems must be determined by standard individual percolation tests. Thus, certain zones of unsuitable areas may be found suitable, depending on the results of these tests.

Topography varies throughout the site; however, the project site slopes 10 to 15 per cent with localized areas being much steeper in the southeast corner of the property. Access and drainage is being reviewed by Traffic Engineering and Project Management and Engineering as part of the building permit process.

## **AGENCY REVIEW**

A number of agencies reviewed the requested amendment. Except for the following, no comments or objections were submitted. Comments received are included in the packet.

### **AWWU:**

1. AWWU has no objection to the proposed amendment to annex Tract 1, Ptarmigan Roost into the area of the Anchorage Hillside eligible to receive public sanitary sewer and water services.
2. If the petitioner is successful in amending the Plan, extension of public water and sanitary sewer mains to the tract will require entering into mainline extension agreements per the Utility's Tariffs and Municipal Code, and securing private system reviews/approvals/permits.

**On-Site Services – Written comments:** No objection. Verbal comments (2/23/06) as noted above.

## **PUBLIC COMMENT**

The petition area is located within the Rabbit Creek Community Council area (see attached comments). The applicant made a presentation to the Council and they voted in favor of the revision of the *HWMP*. Staff received several phone calls and walk-ins, as well as a letter and e-mail responses from area residents. The comments varied with most of them having to do with the building permit rather than extension of public services, such as: drainage (ground water, flooding), access (off-site road conditions and extension of Far View into the development site), questions regarding potential vegetation removal and density (allowing multiple units). Building permit review addresses the location of structure, driveway, and drainage and minimization of off-site impacts. A total of 66 notices were mailed to surrounding property owners. (Written comments are included in this packet.)

## **EVALUATION**

The following criteria were used to evaluate the amendment request:

- existing plans and policies;
- impact on sewer collection system; and
- impact on surrounding property.

### Existing plans and policies

The Land Use Policy Map of the *Anchorage 2020/Anchorage Bowl Comprehensive Plan* proposes an urban/rural services boundary, which is a concept to match municipal government and utility service levels with intensity of development. Once standards for public services are established, this boundary will formally designate areas to receive either urban or rural levels of service. (Examples of services are police and fire, water and sewer, parks, and road maintenance.) The urban area will

have higher density residential and commercial developments that require and support a wider range of services. The rural area will retain low residential densities with a more limited range of services.

The exact location of the urban/rural services boundary will be determined upon completion of a Hillside District Land Use Plan. However, *Anchorage 2020* does not specifically suggest that *HWMP* amendment requests not be heard before the Hillside District Plan is completed.

The *HWMP* calls for extending sewerage service to those Hillside areas that have been identified as environmentally unsuitable for any type of on-site disposal system and that are geographically located for the feasible extension of sewerage. The Plan also includes a strategy for extending service to undeveloped areas that are contiguous to existing sewerage system areas. Together, these factors formed the basis for supporting the inclusion of Tract 1, Ptarmigan Roost, in the sewerage service area.

With the extension of the sewer collection system to Prominence Pointe, along with the availability of public water, development of the petition area with public water and sewer is feasible. As the petition area is immediately adjacent to Prominence Pointe and development easements have been obtained, adding this tract to the sewerage service area is not inconsistent with existing policies in the *HWMP*. The *HWMP* defines areas unsuitable for on-site septic as those where wetlands, high or seasonally high water table, shallow or surficial, organic soils, and steep slopes generally preclude the use of on-site wastewater treatment of any type. Also, On-Site Services has noted that, with the availability of public sewer to this development, the chances of any contamination of the local aquifers or risks to public health caused by on-site wastewater disposal would be minimized in the area.

The 1982 *Anchorage Bowl Comprehensive Development Plan* includes this parcel in a residential area at a density of <1 (.8) du/a. The petitioner proposes 4 units, which is less than 1 du/a. The total number of dwelling units proposed is consistent with existing plans and policies; it is not an increase in density.

#### Impact on sewer collection system

The requested *HWMP* amendment would not create an adverse impact on the sewer collection system. Anchorage Water and Wastewater utility has indicated verbally the existing collection system is adequate to serve this development. The extension of water and sewerage service to the petition area is technically feasible. Neither the general public nor any AWWU customers would be required to pay for any line extensions to the petition areas. The owner will pay the full cost of extending sewerage service to the petition area.

#### Impact on surrounding property

Shangri-La Subdivision, located east of the petition site, is a single family development zoned R-7SL with minimum lot sizes of 40,000 square feet. It is located uphill from the petition site and developed with on-site water and wastewater disposal systems. The remainder of Ptarmigan Roost Subdivision, located north and west downhill from the petition site, is a single-family development zoned R-6 with minimum 1 ¼ acre lots and on-site water and wastewater disposal systems.

Prominence Pointe Subdivision, located south of the petition site, is a single family development zoned R-7, with public sewer and water and within the sewerage service area boundary.

Development of the petition area with sewerage service would pose less risk of groundwater contamination affecting nearby or down slope wells. Many wells in the area are drilled in fractured bedrock, and water quality might be jeopardized with the use of additional on-site wastewater disposal systems in the area. In this case, extension of public sewer to the petition areas would help minimize the risk of contamination to the local aquifer by on-site wastewater disposal systems.

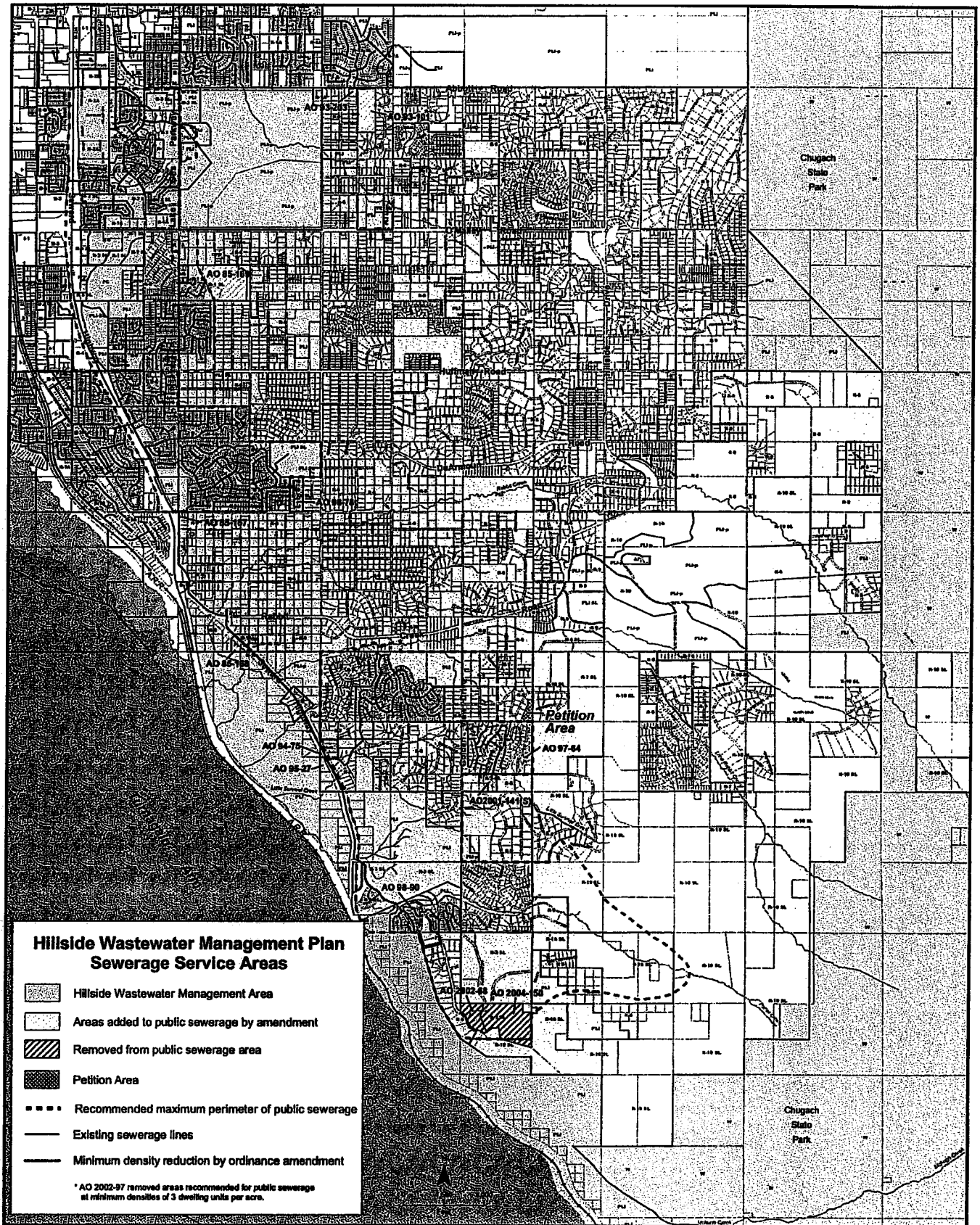
As noted in a previous section, while higher density development is generally supported with the provision of public water and sewer, that argument is not applicable to this proposal. The potential density will not change with the extension of public sewer and water in this zoning district.

#### **FINDINGS AND RECOMMENDATION**

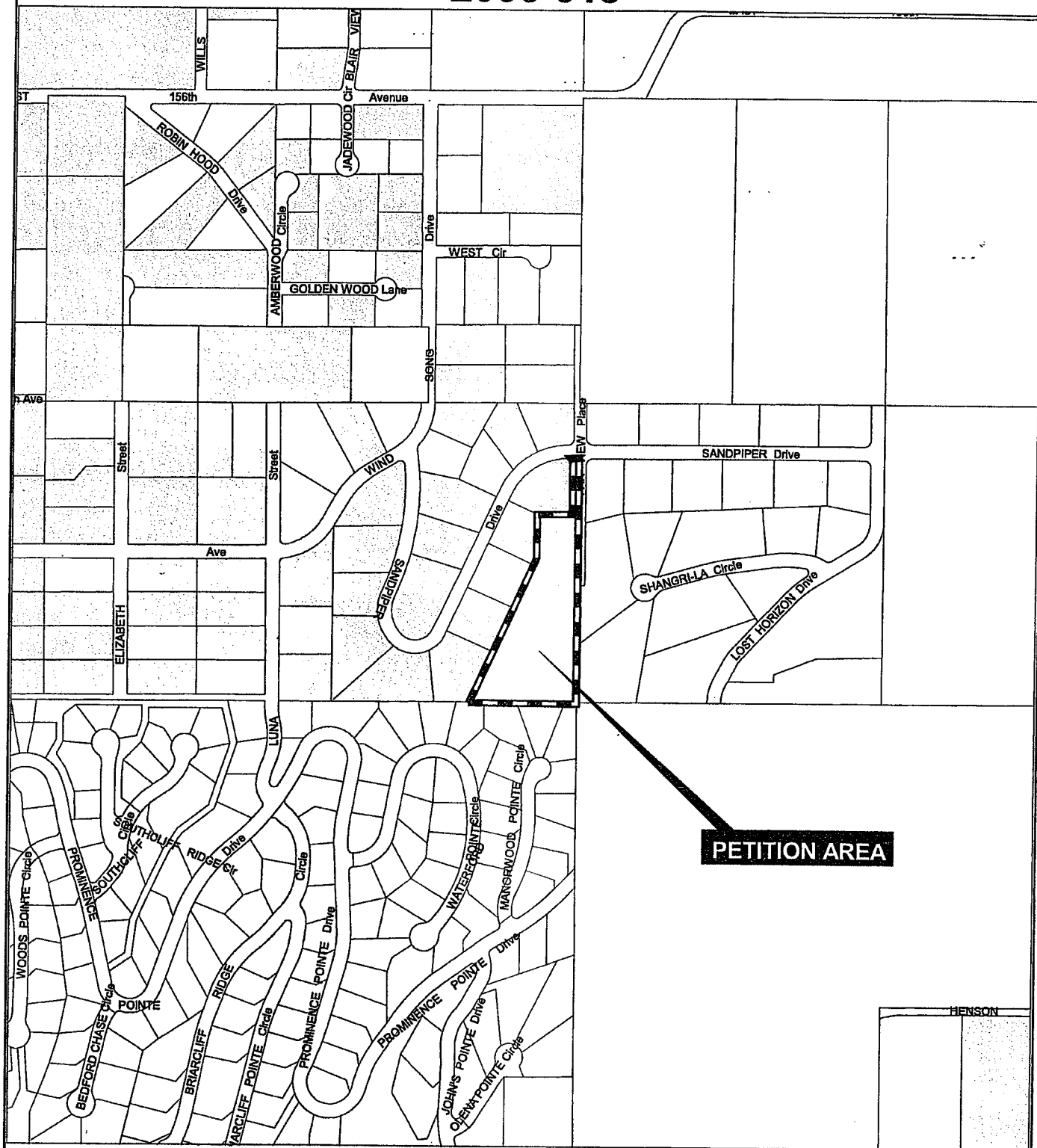
**The Planning Department finds the requested amendment to the *Hillside Wastewater Management Plan* is generally consistent with established policies and plans related to the request; will help support an efficient use of the sewer collection system; and may help minimize the risk of contamination to the local aquifer by on-site wastewater disposal.**

**Based on these findings, the department supports extension of the sewerage service area boundary to include the petition area Tract 1, Ptarmigan Roost Subdivision.**

# MAPS



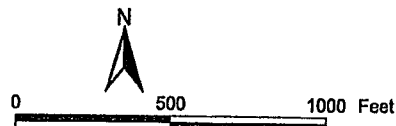
# PLAN AMENDMENT 2006-018



Municipality of Anchorage  
Planning Department

Date: January 14, 2006

-  Single Family Detached
-  Single Family Attached, Duplex
-  Mobile home
-  Multi - Family 3 & 4 Plex
-  Multi - Family 5+

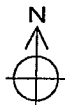


Source: Housing Stock based on 1998 Land Use Inventory  
Planning Department, MOA

**2006 018**

Fri Jan 13, 10:20:41, 2006

Map: Parcels--Basic Layers



Scale 1:10000

**Legend:**

Txt

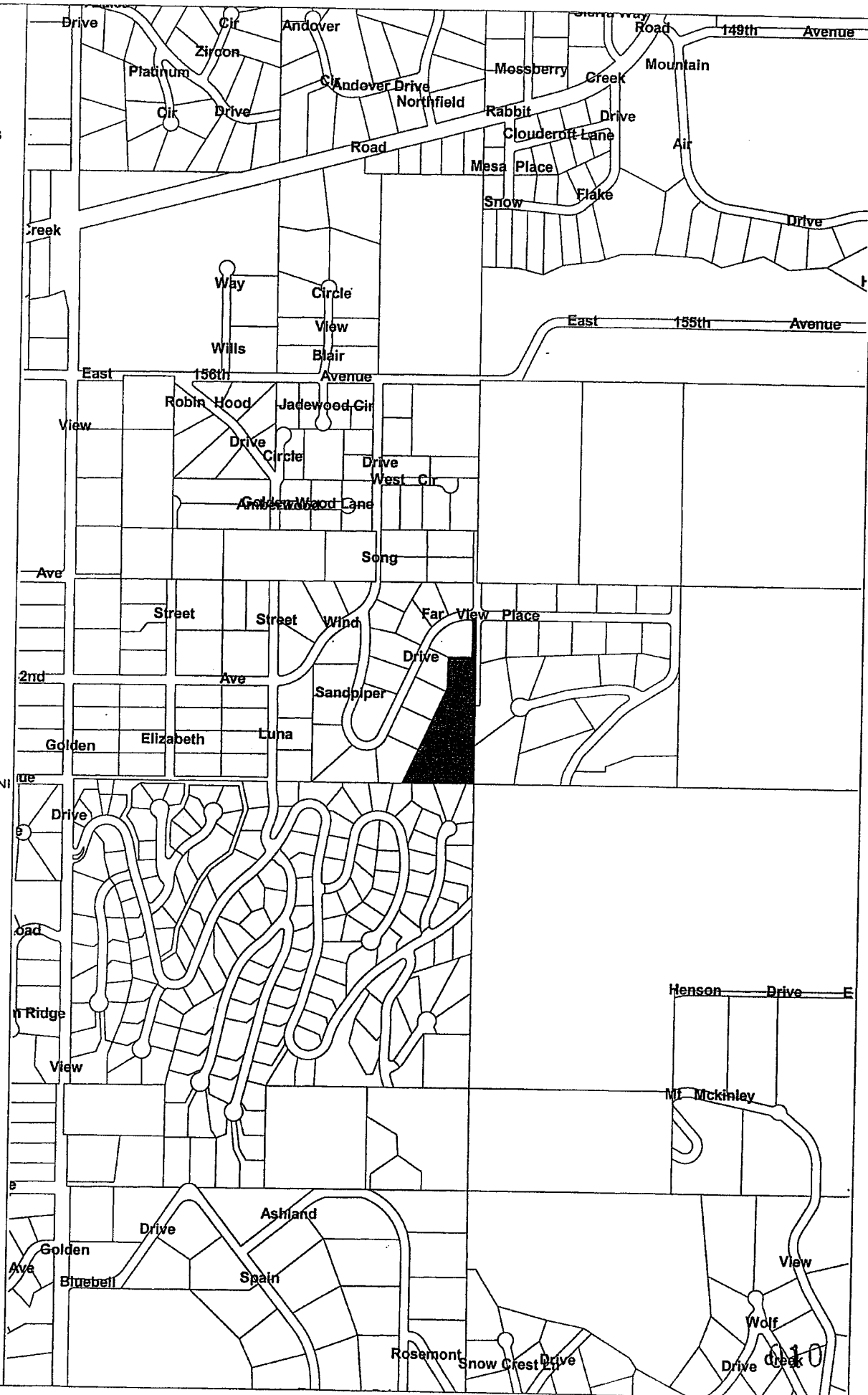


STRNAME\_UNI

PARCELS

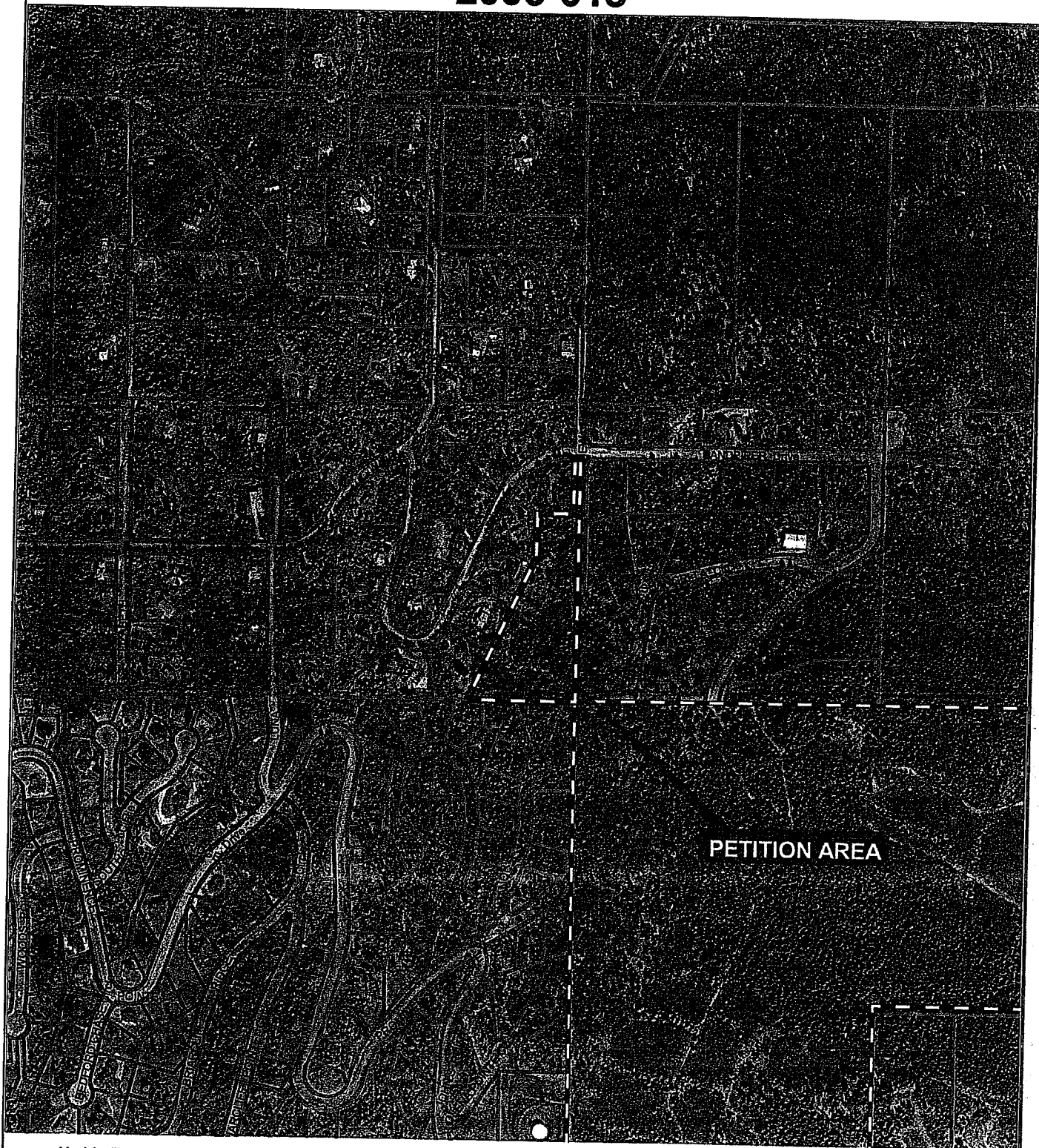
CityView™

Municipal Software Corporation





# PLAN AMENDMENT 2006-018



Municipality of Anchorage  
Planning Department

Date: January 14, 2006



Date of Aerial Photography: 2001

011

# **APPLICATION**

January 4, 2006

Tom Nelson/Director of Planning Department  
Municipality of Anchorage  
4700 S. Bragaw St.  
Anchorage, AK 99519-6650

Dear Mr. Nelson,

This letter is to request an amendment to the current Anchorage Hillside Water and Wastewater Plan for our property of 5.84 acres known as Ptarmigan Roost Tract 1 that shares an eastern boundary with Shangri-La Estates and southern boundary with Prominence Point.

We are requesting that we be allowed to bring water and sewer from Prominence Point to our property for a spring 2006 construction of 4 condominiums. We will be living in one of the condos and selling the others.

We have been in discussion with several municipal employees concerning this matter and the process for the past year. JoAnn Contreras and Cathy Hammond are municipal persons who have helped guide us through the process this far. We have spoken to Don Keefer of AWWU and Dan Roth of your office, and both have given verbal approval of support.

The plat for Prominence Point Phase 8 already contains water and sewer easements, but Don Keefer of AWWU told us the easements existing were not enough. Thus, attached you will find letters of non-objection from all the utilities involved, except Chugach Electric which is pending, and the adjacent affected land owners per request from AWWU.

Listed below are the reasons we are requesting the amendment:

- City water and sewer will cause less disruption to the surrounding land and all of our neighbors. Septic and water wells for a project of this size would cause more disruption of the property than city water and sewer.
- We have been very conscientious in minimizing the clearing of trees for estactic purposes as well as environmental concerns.
- The hillside has high nitrates and this would eliminate further problems with nitrates increasing.
- The 8 test wells drilled range from 206 feet to 342 feet in depth. They are bedrock wells. One of the requirements of a bedrock well is that it is grouted at the point it enters the bedrock. Separation between septic and wells is addressed. This creates a problem when the effluent doesn't have treatment time before reaching bedrock. This would eliminate possible contamination in the presence of groundwater and migration of shallow groundwater toward the well and infiltration.

- A large community well or several smaller ones would cause more problems with the existing water table.
- With the concerns of fire safety on the hillside, city water with a fire hydrant would be important in case of a forest fire.
- The slope of the land leaves small areas for septic.

We have submitted our plans, which are currently being reviewed by the city. With our plans you will find a report by Mike Anderson of USKH about the findings of the 8 test holes, and concerns with bedrock.

Please feel free to contact us if you have any further questions.

Sincerely,

Handwritten signatures of Judy and Randy Eledge in cursive script.

Judy and Randy Eledge  
RJ Enterprises  
7854 Highlander Dr.  
Anchorage, AK 99518  
907-349-8309  
jnorton-eledge@gci.net

# Michael N. Anderson, P.E.

Civil/Structural Engineering and Excavation  
4640 Shoshoni Ave.  
Anchorage, Alaska 99516  
Phone 345-3377  
Fax 345-1391

October 18, 2005

Randy and Judy Eledge  
7854 Highlander Drive  
Anchorage, Ak 99518

Re: Soils Investigation  
Legal: Tract 1, Ptarmigan Roost S/D

Dear Randy and Judy:

Per your request I have investigated the above lot for your proposed new 4-plex and this report presents the results of my geotechnical engineering studies. The project site is located south of Sandpiper Drive and west of Ridgeview Drive in the Ptarmigan Roost Subdivision. The project site is located in an area mapped by the Municipality of Anchorage as having a low ground failure susceptibility (zone 1) in the event of severe seismic shaking. The scope of work covered by this report was to conduct geotechnical explorations, laboratory testing and engineering studies for foundation design.

## ***2.0 Site and Project Description***

The site is located on Tract 1 of Ptarmigan Roost subdivision in Anchorage, Alaska. Sheet S1 shows the approximate site location.

## ***3.0 Geotechnical Explorations***

In July and August of 2005 a Hitachi ZX-120 track excavator was used to excavate 7 test holes on the above property to determine soils types, bedrock locations and water table. The approximate test pit locations are shown on Sheet S1. During the excavation the water table was observed consistently at the interface of the bedrock and the sandy, gravely soils. Monitoring tubes were installed at each test pit for future observation of the existing water table.

Bedrock was observed in all of the test pits as the soils logs show. Shallow bedrock at the site, see test holes #1 and #2, of the proposed building will impact the excavating process and should be considered by your contractor. Test pits 3 thru 6 were done in the flat area to the southwest for possible on-site septic system design.

## ***4.0 Laboratory Testing***

Due to the observation of bedrock in both of the test pits on the proposed building site no soils samples were taken.

## ***5.0 Engineering Analysis***

The surface soils, consisted of inorganic silts in the top 2 to 3 feet then changed to sandy gravels (SP & GP) for the remainder of the 10 foot test pit. Groundwater was observed consistently at the bottom of the hole, running on top of

the bedrock. It is anticipated that this groundwater in test pits 3 thru 7 is permanent. Test pit 1 and 2 had no water during the excavation or after the 7 day monitoring period.

### ***5.2 Liquefaction Potential***

The site was not evaluated for liquefaction potential due to the observed bedrock and the very stiff sandy gravel. Based on these parameters, the estimated liquefaction potential is very low.

### ***5.3 Site Stability***

The overall site stability is excellent since the site is generally flat at the building site with bedrock 4 feet below.

## ***6.0 Recommendations***

It is understood that the site development will consist of placing a new foundation for a 4-plex, condominium complex. The following sections discuss recommendations for the site earthwork, design parameters for foundation, lateral and bearing capacity and drainage provisions.

### ***6.1 Earthwork***

The final configuration of the site prepared for foundations should include the following:

- The building foundations should be on the native undisturbed soils or bedrock if necessary.
- The finish grade around the building should be sloped away, to promote drainage away from the foundation. Similarly, the driveway should be sloped away from the garage doors.
- All organics should be removed from the building footprint area if any is encountered during excavation.

### ***6.2 Seismic Design Criteria***

It is assumed that IBC/IRC 2000 will be used for design of the structures on site. For seismic design, the site classification is D. The design parameters are  $S_s = 1.50g$  and  $S_1 = 0.55g$ . The overall liquefaction potential for the site is low.

### ***6.3 Footing Dimensions***

The minimum dimension for isolated spread footings should be 2 feet, and 16 inches for continuous strip footings. Isolated spread footings, especially if cold, should be avoided to reduce the potential for differential movements. Minimum depth of footings on the perimeter of a continuously heated space is 42 inches based on frost considerations. There is no minimum depth requirement for footings in the interior of a continuously heated area. Minimum depth for cold footings should be 60 inches.

### ***6.4 Bearing Capacity***

The following foundation design parameters are presented assuming the building site described above is constructed as recommended.

- The allowable bearing capacity for continuous strip footings founded a minimum of 42 inches below the exterior grade is 5000 psf. Isolated pad foundations can be designed for an allowable bearing capacity of 5000 psf. The allowable bearing capacities may be increased by 33% for short-term (seismic or wind) loads.
- The value for the modulus of subgrade reaction for floor slabs assumes a thin (less than 4 inch) bed of sand over the native, relatively undisturbed soil for casting the slab. A modulus of subgrade reaction of  $k = 150$  pci can be used for design.

### ***6.5 Lateral Capacity***

Active, at rest and lateral loads can be resisted by the soil against the foundation. Walls, if allowed to rotate, can be designed using active pressure loading. If not allowed to rotate, an at-rest pressure condition prevails. For foundations resisting lateral loads by pushing against the soil, a passive pressure condition would exist.

If a wall is allowed to deflect or rotate a minimum of 0.001 times the wall height, is backfilled with silty sand and compacted to 85% of the Modified Proctor density, and has drainage provisions reducing the potential for water on the wall face, an active earth pressure condition under the static loading would prevail. For these conditions, the wall should be designed to resist the pressure exerted by a fluid with a density of 60 pcf.

For walls that are restrained at the top and cannot move at least 0.001 times the wall height, an at-rest pressure condition would exist. If the wall is backfilled with silty sand to 85% of the Modified Proctor density, and has drainage provisions reducing potential for water buildup on the face, the wall should be designed to resist the pressure exerted by a fluid with a density of 75 pcf.

Lateral forces from wind or seismic loads may be resisted by passive earth pressures against the sides of the footings, exterior walls below grade, and grade beams. These resisting pressures can be estimated based on the pressure distribution of a fluid with a density of 180 pcf. Lateral resistance may also be developed in friction against sliding along the base of the foundations. This resistance may be calculated using a coefficient of 0.50 between the concrete and soil.

#### ***6.6 Drainage***

The project site slopes to the west, at about 10 to 15 percent with localized areas being much steeper in the southeast corner of the property. Provisions should be included in the site design to collect runoff and divert it away from the pavement section and foundations. Roof, parking lot and driveway drainage should be directed toward the street and storm water collection systems and away from any foundations..

#### ***7.0 Closure***

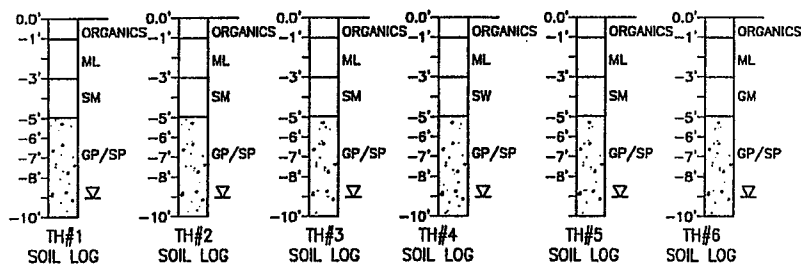
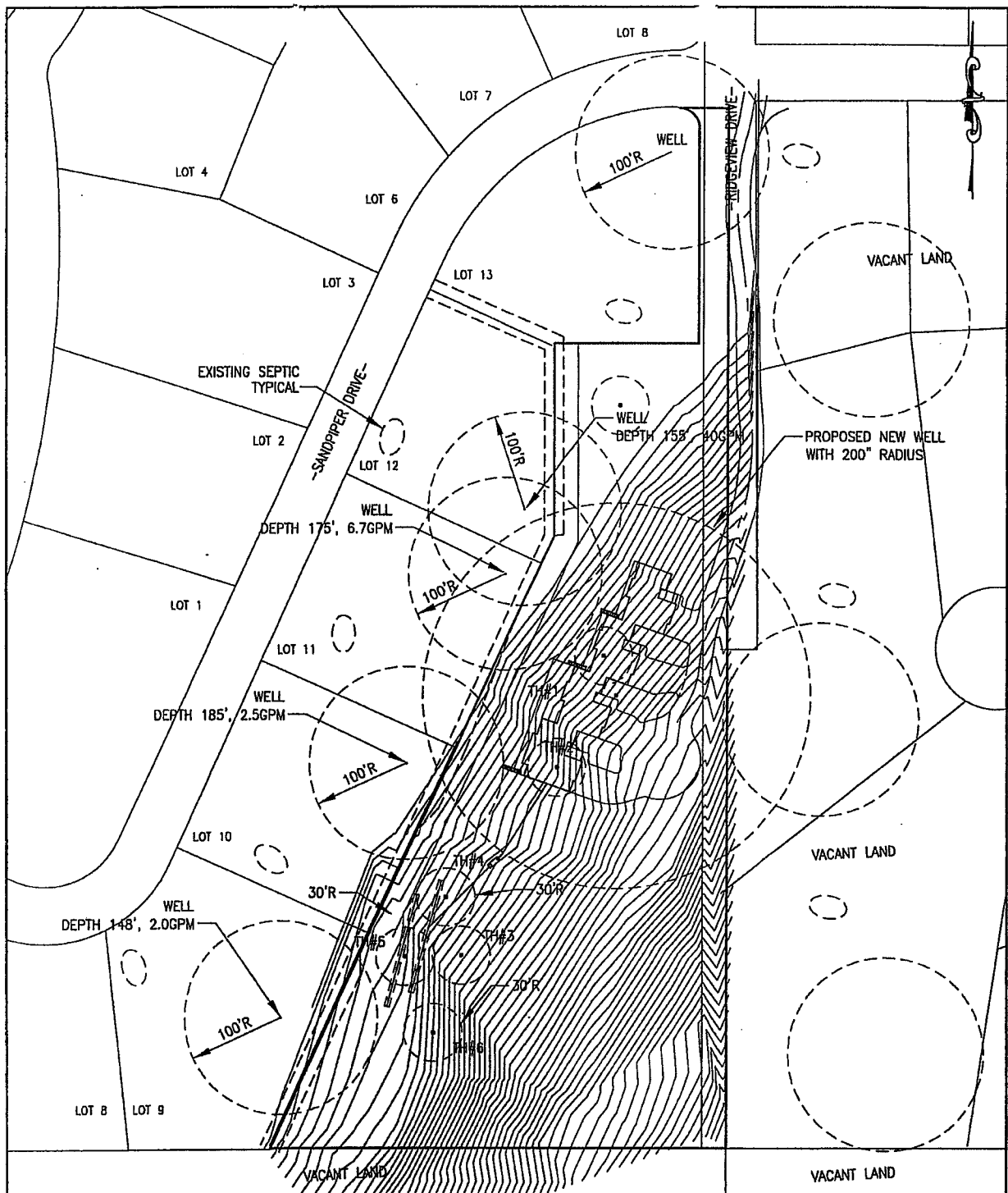
This report has been prepared exclusively for your use in design of the proposed 4-plex improvements. If there are significant changes in the nature, design, or location of the facilities, the engineer, Michael N. Anderson, should be notified so that the conclusions and recommendations can be reviewed in light of the proposed changes and provide a written modification or verification of the changes.

There are possible variations in subsurface conditions between explorations and also with time. Therefore, inspection and testing by the engineer, Michael N. Anderson, should be included during construction to provide corrective recommendations adapted to the conditions revealed during the work. In addition, a contingency for unanticipated conditions should be included in the construction budget and schedule.

No warranty expressed or implied is made.

*Sincerely,*

*Michael N. Anderson, P.E.*



PERC RATES ALL BETWEEN  
2 & 5 MINUTES PER INCH

Prepared For  
**RANDY & JUDY ELEDGE**  
TRACT 1  
PTARMIGAN ROOST SUBDIVISION  
M.O.A. GRID 3238  
5.84 ACRES TOTAL

Soil Investigation Prepared By  
**MICHAEL N. ANDERSON, P.E.**  
4640 SHOSHONI DRIVE  
(907) 345-3377 / FAX (907) 345-1391

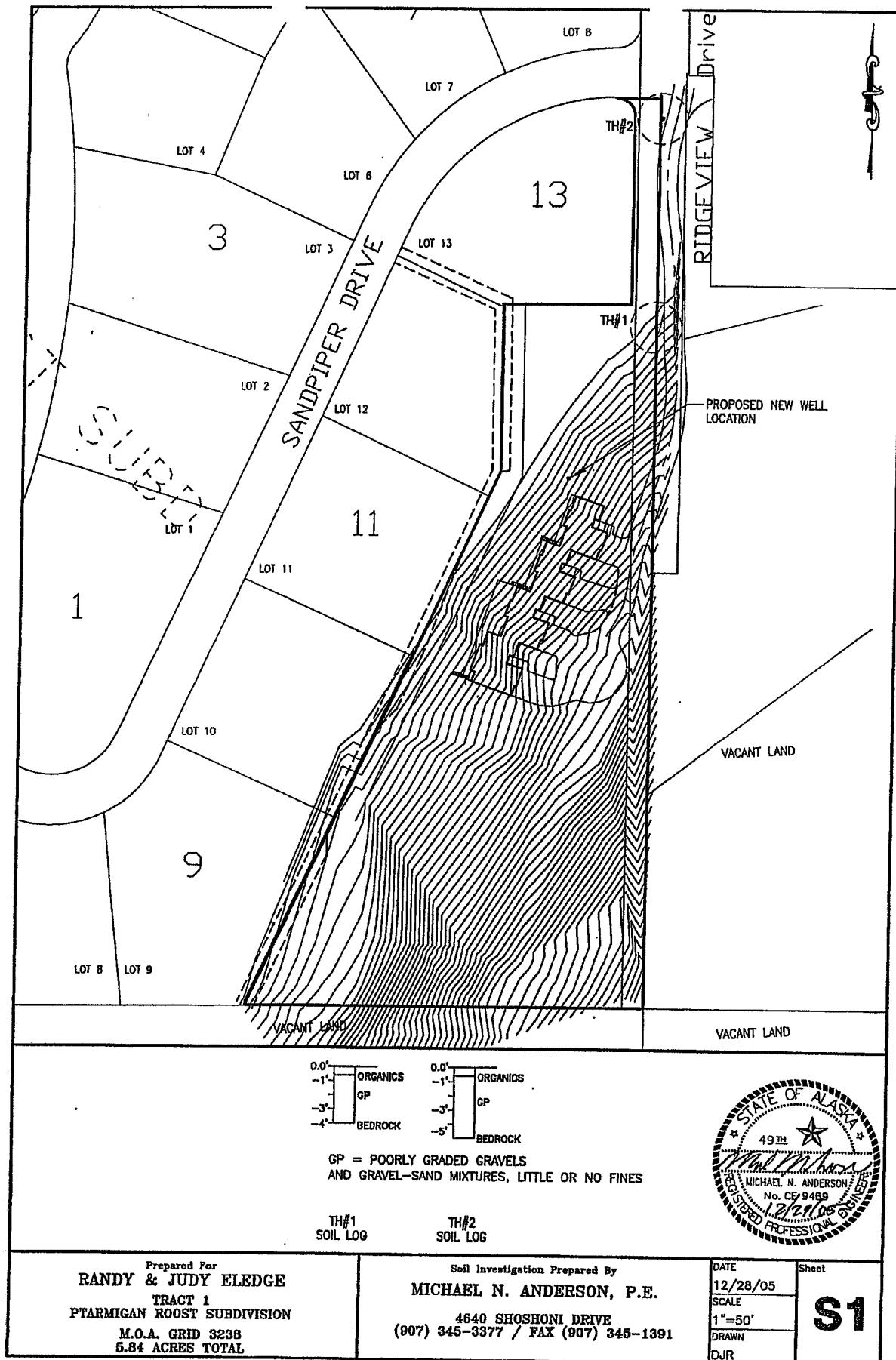
DATE  
12/28/05  
SCALE  
1"=50'  
DRAWN  
DJR

Sheet

**S1**

018







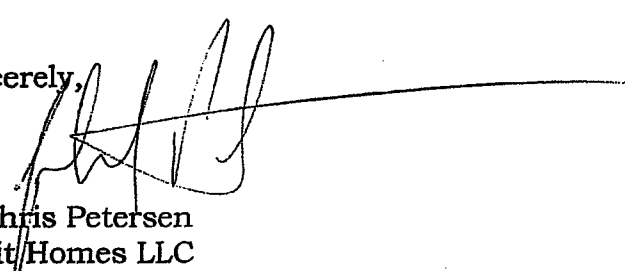
December 7, 2005

Randy and Judy Eledge  
7854 Highlander Dr.  
Anchorage, AK 99518  
907-349-8309

To Whom It May Concern:

This letter is to acknowledge my non-objection for an additional overlapping easement along the rear property line of my Prominence Pointe Lot 9. I grant an additional 10 feet overlapping easement to the existing 20 foot easement already on the Plat to Mr. and Mrs. Eledge.

Sincerely,

  
J. Chris Petersen  
Merit/Homes LLC  
PO Box 111982  
Anchorage, AK 99511  
907-334-9233

Ken and Mary Paulic  
4771 Southpark Bluff Drive, Anchorage AK 99516  
907-336-0128 paulic@gci.net

November 28, 2005

Judy and Randy Eledge  
7854 Highlander Dr.  
Anchorage, AK 99518

Subject: Prominence Point Lot 10 Overlapping Easement

Reference: Eledge letter dated 11/15/05

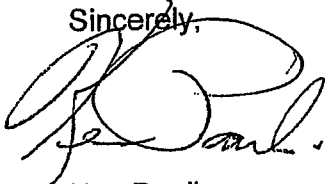
Dear Mr. and Mrs. Eledge:

The referenced letter requests our non objection to the obtaining of an overlapping easement on our property for the purpose of bringing water and sewer to your property. We desire to be good neighbors and have no objection provided that the work is performed as follows:

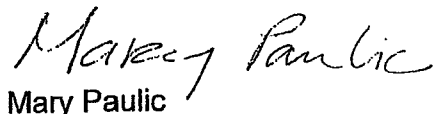
- All work is performed within the overall 30 foot (i.e. 20' T&E + 10' Drainage) easement width shown on the Lot 10 plot plan that was attached to your letter.
- Your work is coordinated with all other utilities within the easement and you resolve any resulting problems between your utilities and others.
- The construction area is restored to prior condition.
- Any required permits are obtained.

We wish you success in your construction next year. Should there be any questions, please do not hesitate to telephone.

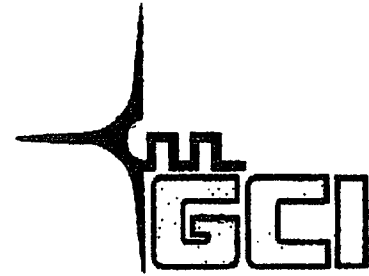
Sincerely,



Ken Paulic



Mary Paulic



September 22, 2005

Randy and Judy Eledge  
Home Owners  
7854 Highlander Dr.  
Anchorage, Alaska 99518

To Randy and Judy Eledge,

Subject to your agreement to indemnify the company as set forth below, GCI Cable Inc. of Alaska has no objection to the Overlapping Easement proposed from a 30' easement to a 40' Sanitary Sewer Easment on the Northwest property line of Tract 1 Ptarmigan Roost Subdivision Phase 8, Known as (7854 Highlander Dr., Anchorage, Alaska 99518), in city grid #3338.

This letter of non-objection in no way precludes GCI Cable from full use and enjoyment of any rights it may have within any portion of the utility easement and or the right-of-way, including unlimited access for servicing its facilities. Also any additional and extraordinary costs incurred during any future required construction, repair or reconstruction of GCI's facilities to accommodate any or all of the encroachments shall be paid by the property owner.

By signing below, you agree to indemnify and hold GCI Cable harmless, now and forever, for any damage, costs, expense (including reasonable attorney's fees), liabilities and injury to any person or property occurring as a result of the encroachment. Please indicate your acceptance by signing and returning this letter to myself at the address below. If not signed and returned to GCI within 30 days of issuance, this letter of non-objection becomes void for all intents and purposes.

Sincerely,

A handwritten signature in black ink, appearing to read "Rob Hansen".

Rob Hansen  
CAD Operater Level 1  
E-Mail- [RHANSEN1@GCI.COM](mailto:RHANSEN1@GCI.COM)  
Office # (907) 868-6769  
Fax # (907) 868-8580

A handwritten signature in black ink, appearing to read "Judy Eledge".  
Acceptance signature

10/1/05  
Date



ENSTAR Natural Gas Company  
A DIVISION OF SEMCO ENERGY  
Engineering Department  
401 E. International Airport Road  
P. O. Box 190288  
Anchorage, Alaska 99519-0288  
(907) 334-7753  
FAX (907) 562-0053

November 22, 2005

Ms. Judy Eledge  
7854 Highlander Drive  
Anchorage, Alaska 99518

Re: Letter of Non-Objection  
Grid: 3238, 3338

To whom it may concern:

ENSTAR Natural Gas Company has no objection to the proposed replat of the Ten Feet (10 ft) wide Telecommunications and Electrical Easement situated on Lot 9, Block 6, Prominence Pointe Phase Eight Subdivision, for the purpose of a joint use Water and Sewer Easement, all located within the SW1/4, Section 2, Township 11 North, Range 3 West, Seward Meridian, Records of the Anchorage Recording District, Third Judicial District, State of Alaska.

Acceptance and use of this letter of non-objection by yourself, your heirs, your assigns, or your successors, will constitute agreement to the following stipulations:

- ENSTAR will be held harmless, now and forever for any damages or injury to any person or property as a result of this encroachment.
- Any ENSTAR facility damaged or destroyed, as a result of this encroachment will be repaired at no cost to ENSTAR.
- Any costs incurred by ENSTAR for special construction necessitated by this encroachment will be borne by the property owner.
- All applicable safety code regulations will be observed and maintained.
- This letter of non-objection will in no way preclude ENSTAR from full use and enjoyment of its rights within any portion of its right-of-way.

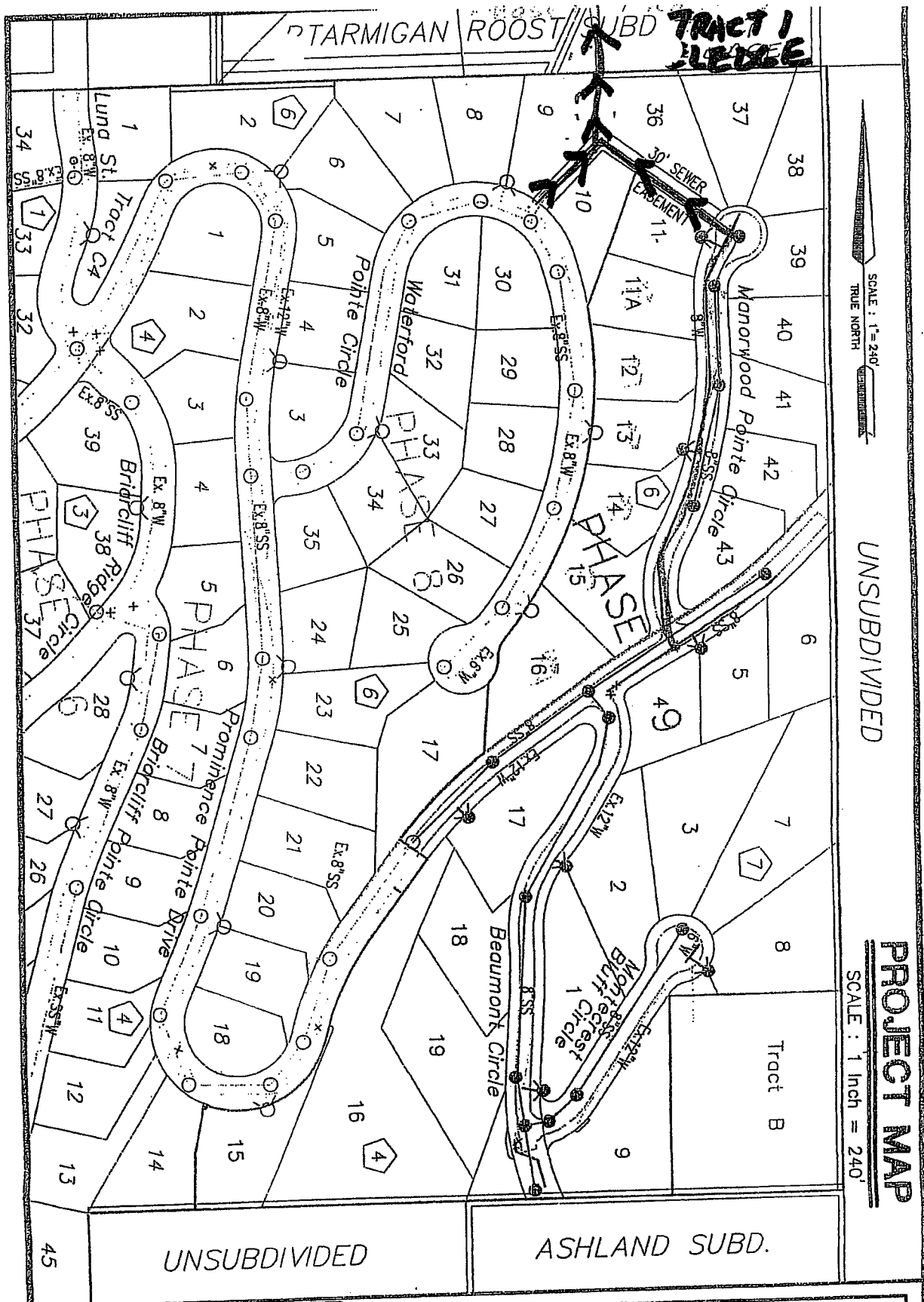
Sincerely,

A handwritten signature in cursive script, appearing to read "Andrew Fraiser".

Andrew Fraiser  
Right-of-Way Assistant  
ENSTAR Natural Gas Company

cc: File

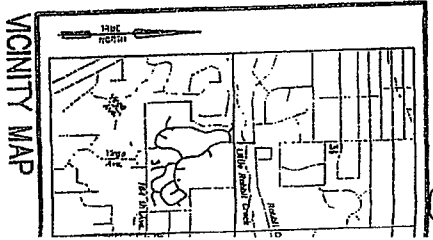
blue-water  
 sewer - service to these lots was provided under from Pointe (USC  
 -012)



SCALE : 1" = 240'  
 TRUE NORTH

UNSUBDIVIDED

**PROJECT MAP**  
 SCALE : 1 inch = 240'



VICINITY MAP

SEWER CONNE  
 11A, 12-16, E  
 INSTALLED IN

- EXISTING & PROPOS
- EXISTING & PROPOS
- EXISTING SANITARY
- PROPOSED SEWER
- EXISTING SANITARY

**Prominence**  
*The Gates of PHA*  
**WATER IMPROV**  
**MS 04-33**

333

Lot 7

Lot 8

Lot 9

*Eledge*

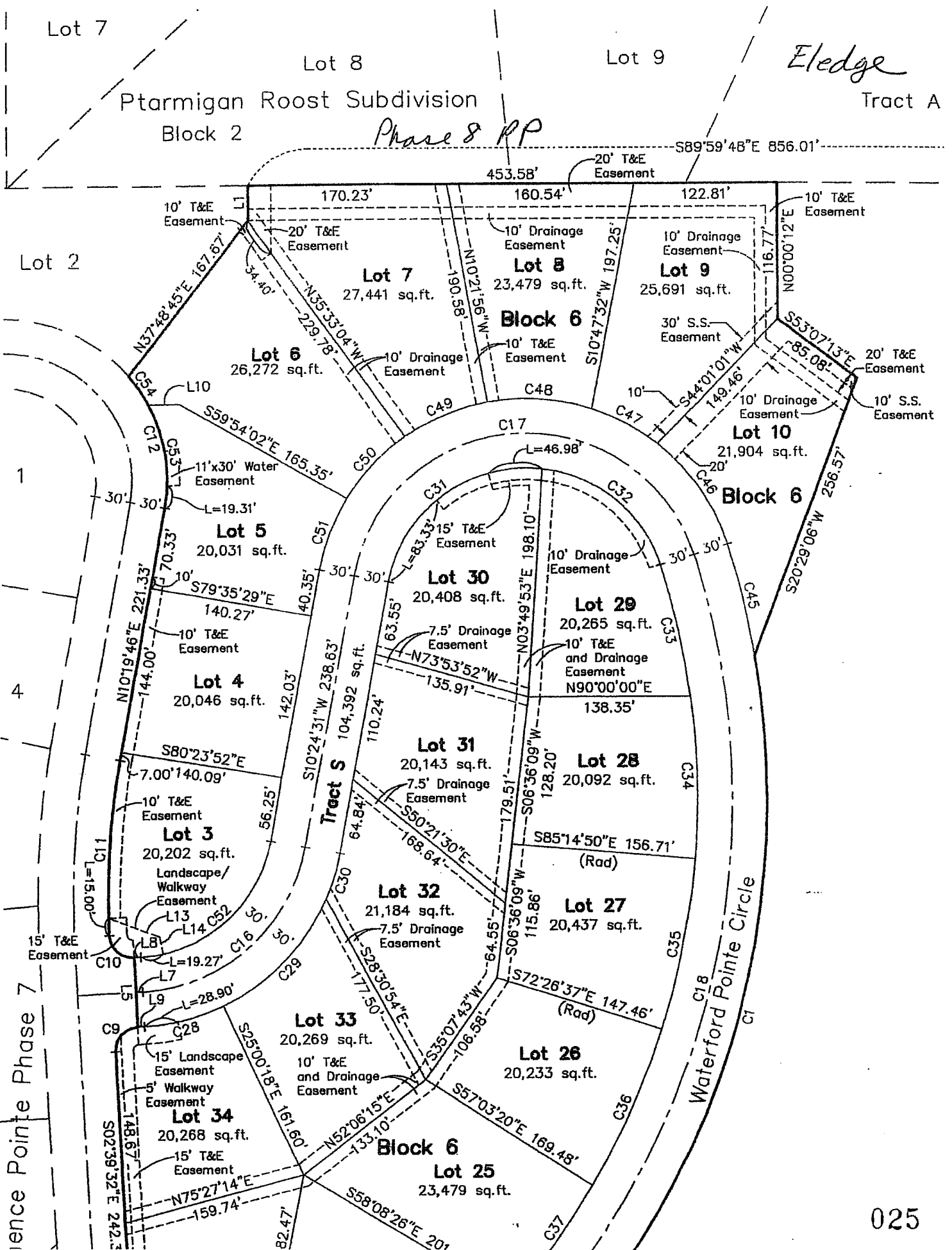
Tract A

Ptarmigan Roost Subdivision

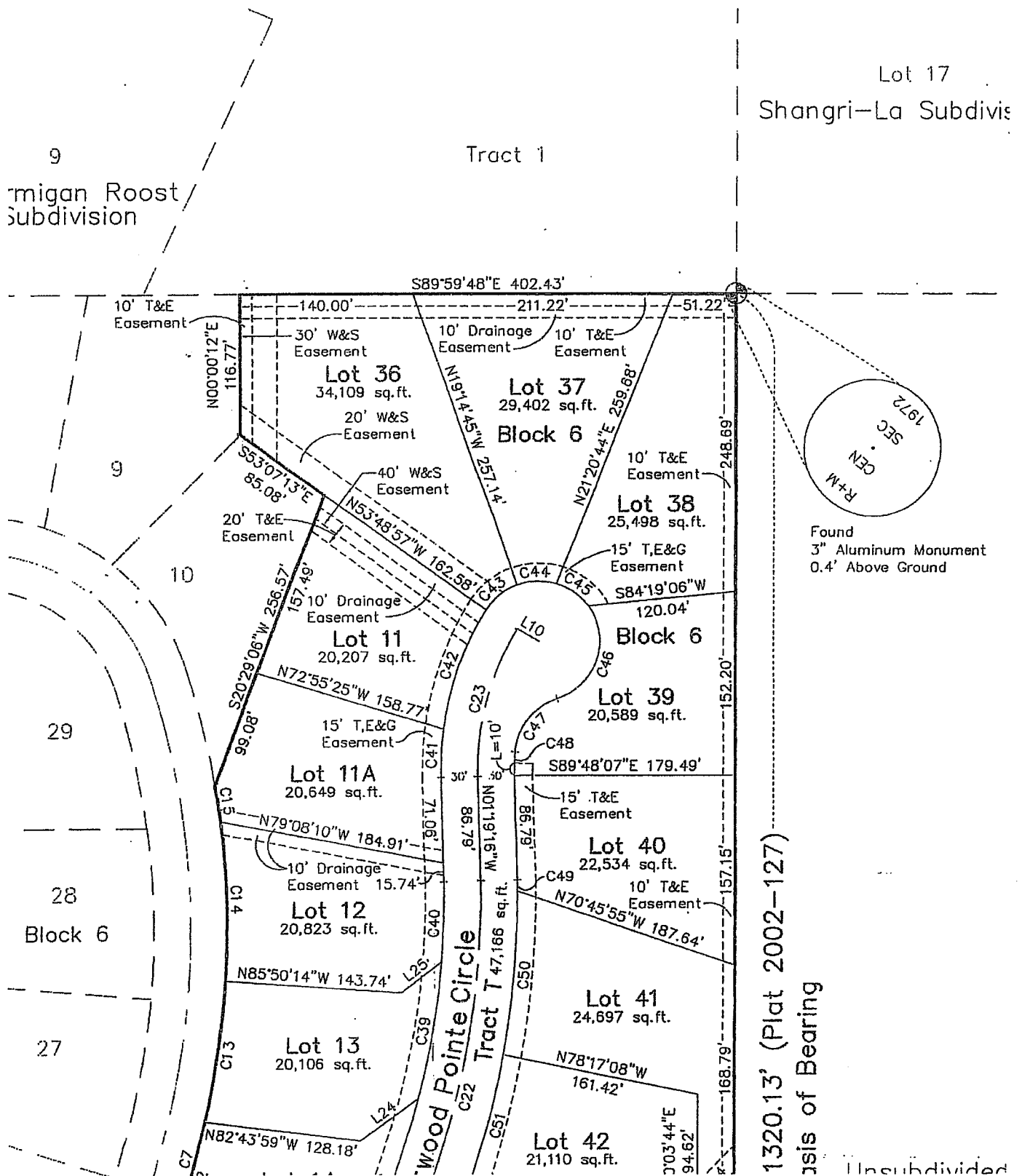
Block 2

*Phase 8 PP*

Lot 2



Phase 9 PP





**DEPARTMENT  
AND  
PUBLIC  
COMMENTS**

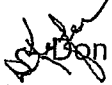
MUNICIPALITY OF ANCHORAGE  
Anchorage Water & Wastewater Utility

RECEIVED

JAN 27 2006

MEMORANDUM

Municipality of Anchorage  
Zoning Division

DATE: January 24, 2006  
TO: Zoning and Platting Division, OPDPW  
FROM:  Don Keefer, Planning Supervisor, AWWU  
SUBJECT: Planning & Zoning Commission Hearing March 06, 2006  
AGENCY COMMENTS DUE February 06, 2006

AWWU has reviewed the case material and has the following comments.

**2006-018 Plan Amendment for the Hillside Wastewater Management Plan**

1. AWWU has no objection to the proposed amendment to annex Tract 1, Ptarmigan Roost into the area of the Anchorage Hillside eligible to receive public sanitary sewer and water services.
2. If the petitioner is successful in amending the Plan, extension of public water and sanitary sewer mains to the tract will require entering into mainline extension agreements per the Utility's Tariffs and Municipal Code, and securing private system reviews/approvals/permits for service lines connecting to said extensions.

For questions, you may call me at 564-2717 or AWWU Planning staff at 564-2739, or email [don.keeper@awwu.biz](mailto:don.keeper@awwu.biz).



**Municipality of Anchorage  
Development Services Department  
Building Safety Division**



**RECEIVED**

**FEB 07 2006**

*Municipality of Anchorage  
Zoning Division*

**MEMORANDUM**

**DATE:** February 7, 2006  
**TO:** Jerry Weaver, Jr., Platting Officer, CPD  
**FROM:** *DR* Daniel Roth, Program Manager, On-Site Water and Wastewater Program  
**SUBJECT:** Comments on Cases due February 6, 2006

The On-Site Water & Wastewater Program has reviewed the following cases and has these comments:

*2006-018* Plan Amendment for the Hillside Wastewater Management Plan

No objection



***Municipality of Anchorage***  
Office of Planning, Development, & Public Works  
Project Management & Engineering Department



---

**PZC Case Comments**

**DATE:** 2/7/2006

**TO:** Eileen Pierce, P&Z

**FROM:** Anastasia Taylor, PM&E

**SUBJECT:** Comments for hearing date: 3/6/06

**Case No.** 2006-018 Hillside Wastewater Management Plan amendment

Project management and engineering has no adverse comment for this case.

RECEIVED

FEB 03 2006

Municipality of Anchorage  
Zoning Division

**Municipality of Anchorage  
MEMORANDUM**

**DATE:** February 3, 2006  
**TO:** Jerry Weaver, Manager, Zoning and Platting Division  
**FROM:** Brian Dean, Code Enforcement Manager  
**SUBJECT:** Land Use Enforcement Review Comments, Planning and Zoning Commission case for the meeting of March 6, 2006.

**Case #:** 2006-018  
**Type:** Plat Amendment, Hillside Wastewater Management Plan  
**Subdivision:** Ptarmigan Roost, Tract 1  
**Grid:** SW 3238  
**Tax ID #:** 020-042-82  
**Zoning:** R-6

**Platting:** 71-214, filed September 7, 1971.

**Lot area and width:** AMC 21.40.080.F.1: "Except as provided in subsection 2 of this subsection, a lot shall have the following minimum area and width:

**Minimum Requirements\***

Use	Lot Area (square feet)**	Lot Area (acres)	Lot Width (feet)
a. Single-family	54,450	1¼	150
b. Two-family dwellings	108,900	2½	200
c. Three-family dwellings	163,350	3¾	250
d. Four-family dwellings	217,800	5	300
e. Five- or more families	261,360 ...	6	350

\*Includes one-half the area of abutting dedicated rights-of-way.

\*\*Individual lot square footage may vary up to one percent."

The lot meets the minimum area and width requirements.

**Minimum lot dimensions:** The lot meets the width, depth, and width-to-depth ratio requirements of AMC 21.80.300.

**OS&HP setbacks:** The property does not adjoin any classified street.

**Yard requirements:** AMC 21.40.080.G: "Minimum yard requirements are as follows:

1. Front yard: 50 feet.
2. Side yard: 25 feet.
3. Rear yard: 50 feet."

Yard requirements will be addressed during the building permit process when the property is developed.

**Lot coverage:** AMC 21.40.080.H: "Maximum lot coverage by all buildings is 30 percent ...."

Lot coverage requirements will be addressed during the building permit process when the property is developed.

**Clear vision area:** A clear vision area applies to this property.

**Enforcement actions:** No land use cases are listed in CETS.

**Use determination:** Property tax records indicate vacant land.

**Permits:** Building permit 05-6202 on file for a Four Plex

**Building height:** AMC 21.40.080.I: "Maximum height of structures is unrestricted, except that structures shall not interfere with Federal Aviation Administration Regulations on airport approaches."

Building height will be addressed during the building permit process when the property is developed.

**Off-street parking:** AMC 21.45.080.W.7: "The off-street parking area, including all points of ingress and egress, shall be constructed in accordance with the following standards: ...

b. A parking area related to any use within a rural use district, as defined in section 21.85.020, shall be paved with a concrete or asphalt compound to standards prescribed by the traffic engineer or shall be covered with a layer of crushed rock of no more than one inch in diameter to a minimum depth of three inches."

Parking requirements will be addressed during the building permit process when the property is developed.

**Landscaping requirements:** No landscaping is required by the R-6 district regulations.

**Subdivision landscaping:** No incompatibilities for this case are apparent that could require landscaping easements under AMC 21.80.340. No landscaping is required by the plat of record.

**Fences:** AMC 21.45.110.A: "A fence may be constructed at the lot line, provided, however, that front yard fences in [the R-6 district] shall not exceed six feet in height, and may be increased to eight feet in height provided the fencing material is non-sight obscuring."

**Access:** Public streets about the property. Principal access to them would meet the requirements of AMC 21.45.040.

**Stream protection setbacks:** The property does not adjoin any stream protected by AMC 21.45.210.

**Wetlands:** Map 107 shows the property as uplands.

**Seismic hazard:** The property is not within an area of high ground failure susceptibility.

**Recommendations:** Land Use Enforcement has no adverse comment regarding this case.

(Reviewer: Don Dolenc)



**MUNICIPALITY OF ANCHORAGE**  
**PARKS & RECREATION DEPARTMENT**  
**MEMORANDUM**



**DATE:** February 24, 2006  
**TO:** Jerry T. Weaver, Zoning Div. Administrator  
**FROM:** Tom Korosei, Park Planner  
**SUBJECT:** Planning and Zoning Case Reviews

**RECEIVED**

**FEB 27 2006**

**Municipality of Anchorage**  
**Zoning Division**

Parks and Recreation has the following comments:

**CASE NO.**      **CASE**

**2005-032**      **Administrative church site plan review, vicinity of 10821 O'Malley Rd.**  
The areawide trails plan shows planned multi-use paved and unpaved trails along adjoining O'Malley Road. The South Fork of Little Campbell Creek runs across or near the northeasterly corner of the subject site. Parks and Recreation recommends establishing an appropriate greenbelt area in the vicinity of the above-mentioned stream.

**2006-018**      **Plan Amendment for the Hillside Wastewater Management Plan**  
No comment.

**2006-034**      **Site selection for the school district administration building.**  
No comment.

**2006-035**      **Site plan review for an office building.**  
The subject site adjoins the northwesterly boundary of University Lake Park. Submitted plans appear to show minimal impact on park lands; therefore, Parks and Recreation has no comment.

Cc: Monique Anderson

P&Z0306.doc





# MUNICIPALITY OF ANCHORAGE

Development Services Department  
Right of Way Division



## MEMORANDUM

RECEIVED

DATE: January 31, 2006  
TO: Planning Department, Zoning and Platting Division  
THRU: Jack L. Frost, Jr., Right of Way Supervisor *L*  
FROM: Lynn McGee, Senior Plan Reviewer *L*  
SUBJ: Request for Comments on Planning and Zoning Commission case(s) for the Meeting of March 6, 2006.

JAN 31 2006

Municipality of Anchorage  
Zoning Division

Right of Way has reviewed the following case(s) due February 6, 2006.

06-018

**Plan Amendment**

**(Hillside Wastewater Management Plan)**

Right of Way Division has no comments at this time.

Review time 15 minutes.

1/31/06  
06-018

035

RECEIVED

JAN 24 2006

MUNICIPALITY OF ANCHORAGE  
PLATTING DIVISION



## FLOOD HAZARD REVIEW SHEET for PLATS

Date: 01-24-06

Case: 2006-018

Flood Hazard Zone: C

Map Number: 0360

☐ Portions of this lot are located in the floodplain as determined by the Federal Emergency Management Agency.

☐ AMC 21.15.020 requires that the following note be placed on the plat:

"Portions of this subdivision are situated within the flood hazard district as it exists on the date hereof. The boundaries of the flood hazard district may be altered from time to time in accordance with the provisions of Section 21.60.020 (Anchorage Municipal Code). All construction activities and any land use within the flood hazard district shall conform to the requirements of Chapter 21.60 (Anchorage Municipal Code)."

☐ A Flood Hazard permit is required for any construction in the floodplain.

☒ I have no comments on this case.

Reviewer: Jack Puff



**MUNICIPALITY OF ANCHORAGE**  
Traffic Department



**MEMORANDUM**

**RECEIVED**

JAN 27 2006

Municipality of Anchorage  
Zoning Division

DATE: January 25, 2006  
TO: Jerry T. Weaver, Platting Supervisor, Planning Department  
THRU: Leland R. Coop, Associate Traffic Engineer  
FROM: Mada Angell, Assistant Traffic Engineer  
SUBJECT: Comments, March 6, 2006 Planning & Zoning Commission

06-018

Prominence Point/Ptarmigan Roost; Amendment to the Hillside  
Wastewater Management Plan

Traffic has no comment.

# Rabbit Creek Community Council

P.O. Box 112354, Anchorage, AK 99511-2354

February 13, 2006

RECEIVED

FEB 13 2006

Municipality of Anchorage  
Zoning Division



Planning and Zoning Commission  
Municipality of Anchorage, Planning Dept.  
PO Box 196650  
Anchorage, AK 99519

RE: #2006-018, Amendment to HWMP, Ptarmigan Roost

The Council's Land Committee met with the developer and reviewed various aspects of the proposed development which is to be four, connected, 2 story condo units of 3,000 sq ft each. The Council then voted on this case at their February general membership meeting.

While this case only concerns an amendment to the HWMP, the Council requests that our comments be considered during the site plan review and thus asks that this letter be included in that file.

The Council voted to approve this request to amend the HWMP to bring public utilities to the 6 acre parcel with the following comments:

1. An amendment to the HWMP for this parcel should not imply approval to increase the density of the parcel beyond the plan presented for four condo units. The Council is very concerned that this amendment—which comes before completion of the Hillside District Plan—should not set precedence for general expansion of public utilities nor an increase in density in other areas.
2. The Council voted for the amendment with the understanding from the developer beyond the four units, the remaining acreage would remain undisturbed to help control drainage. In no case should density be increased beyond that allowed for R-6 zoning; however, zoning alone can not guarantee the right to develop at a specific density when terrain and drainage challenges exist.
3. Drainage plans must be scrutinized to eliminate any impact to neighbors. It should be noted that five of the seven soil tests encountered water running on the bedrock at the bottom of the 10 ft holes and the engineer's report stated the belief that the groundwater was a permanent condition. This condition should be monitored during the course of construction to provide protection to adjacent landowners.
4. The Council acknowledges that their decision to approve the amendment was based on the assumption that public utilities might be less damaging to this wet parcel, but that no evidence was presented to prove this.

Sincerely,

Susanne Comellas, Chair

Rec'd 2/13/06  
e-mail attachment  
2006-018

16350 Sandpiper Drive  
Anchorage, Alaska 99516  
February 11, 2006

**RECEIVED**

FEB 13 2006

Municipality of Anchorage  
Zoning Division

Municipality of Anchorage  
Department of Planning  
P.O. Box 196650  
Anchorage, Alaska 99519-6650

**Reference: Planning Dept. Case Number: 2006-018**

To whom it may concern:

Continued development of the Hillside area is important for the City of Anchorage provided it is compatible with the existing developed areas, does not intrude on adjoining properties, or has the potential of adversely affecting adjoining properties. Unfortunately, it is my opinion that the present development plan for the tract for which case number 2006-018 was requested, is flawed. To explain my rationale I have divided this subject into the following categories:

#### **Groundwater**

The petitioner presented his plan at the Rabbit Creek Community Council (RCCC) meeting on February 9, 2006. The map depicted the plan to build four or more adjoined large condominium units on this property. Until freeze up this past fall, my wife and/or I often walked past this cleared potential building site. Never did I observe this cleared site without it being in a wet or standing water condition. If this abnormally large building is constructed, the ground water will divert in larger concentrations to flow downhill, most likely causing runoff on existing homes below and possibly cause additional water problems to Sandpiper Drive.

#### **Transportation Access**

Access to this tract is by a long roughed in road from Sandpiper Drive. This road has a right of way width of 60 feet. When I first learned that this road was to be developed, I contacted your office handling right of way concerns. I was advised at that time any road would generally be centered on the right of way access and not divert from this centerline unless there was an insurmountable obstacle like a humongous boulder. Unfortunately, a large spruce tree lies in the path of this road and the petitioner has seen fit to divert the southbound lane around the tree with the direct edge of the road on my property line. To do this, two 6 to 8 inch diameter trees, plus numerous small seedlings, were cut down and destroyed. If this is allowed by the city, snow will be plowed on my property, and there is no provision for ditching of runoff water. There goes my garden and endangers my well head.

February 11, 2006

- 2 -

### **Sheet Flooding**

As a point of information, I am defining sheet flooding as surface water resulting from spring breakup and heavy rain storms.

At the RCCC meeting, the petitioners proposed development map addressed drainage to the south from the condmenimum area but not down hill to the north from the access road. I am very concerned about this northern runoff due to the fact that I am on the downhill side of this road. If this road is allowed to be developed other than on the center of the right of way then there is no allowance for runoff drainage on the downhill side.

Sheet flooding is not an imagined phenomenon in this area. After two attempts by the city and developers to control sheet flooding by ditching and culverts, water still avoids the ditches, runs down Sandpiper Drive, and then enters the ditch in front of my residence. It then remains stagnating in the ditch because there is no outflow for the water.

### **Covenants**

According to documents I have for my property in the Ptarmigan Roost subdivision, the covenants were recorded on September 3, 1971. I, as well as other property owners in this subdivision, bought our properties in good faith that we were protected from adverse actions from those who would ethically divert from these good faith agreed to obligations.

The covenants state that only a single-family dwelling may be placed on each lot. At the RCCC meeting, when questioned on the application of covenants, the petitioner responded that covenants did not apply to the property in question because it was a tract rather than a lot.

Black's Law Dictionary defines a tract as; "A lot, piece, or parcel of land, of greater or less size, the term not importing, in itself, any precise dimension.

This same dictionary defines a lot as; "A share; one of several parcels into which property is divided", or "Any portion, piece, division, or parcel of land". As defined, I see no difference between a lot and a tract.

If covenants are to be ignored in the development of this property in question, does that mean that they are null and void? If so, may I then build a cement barrier at the property line to prevent intrusion or invasion of vehicles onto my property if the tree issue is not correctly resolved?

February 11, 2006

- 3 -

**Conclusion**

This property is totally surrounded on all points of the compass with only single family dwellings for several miles. By allowing this petition to pass, it will badly disrupt the continuity of this residential area. In addition, it will concentrate more traffic on Sandpiper Drive that can be accurately described as an over used, under maintained, country dirt road that followed a moose trail.

If there is a site planning review for this proposed commercial development, please do so.

Sincerely,

Daniel O. Stewart

# Zoning and Platting Cases On-line

## View Case Comments

[Submit a Comment](#)

**\*\* These comments were submitted by citizens and are part of the public record for the cases \*\***

**Questions?** If you have questions regarding a case, please contact Zoning at **907-343-7943** or Platting & Variances at **907-343-7942**.

**RECEIVED**
**FEB 21 2006**

**1. Select a Case:**  [View Comments](#)

**2. View Comments:**

Municipality of Anchorage  
Zoning Division

### Case Num: 2006-018

Plan Amendment for the Hillside Wastewater Management Plan

**Site Address:** E. OF SANDPIPER DR, S. OF FAR VIEW PL

**Location:** An amendment to the Hillside Wastewater Management Plan to include a 5.84 acre tract described as Tract 1, Ptarmigan Roost Subdivision within the recommended public sewerage area. Located east of Sandpiper Drive, south of Far View Place and north of Prominence Pointe Subdivision.

[Details](#) | [Staff Report](#) | [submit a comment](#)

## Public Comments

**2/21/06**

Jon Penn

16321 Sandpiper Drive

Anchorage Ak 99516

Why are you trying to disguise what what the petitioners are trying to accomplish. This is not an amendment to some obscure wastewater plan, this is a request to bring water and sewer to a large marginally accessible lot so they can build condos. Why not just put that on the notice of public hearing instead of obscuring what is planned. As for commenting how is it possible for such a clearly bad idea to get so far in the planning process. And more importantly how did lot 1 of Ptarmigan Roost suddenly become a tract ? I'm all for multifamily dwellings but if you're going to start putting them in the Hillside is this really the place to start.



# Zoning and Platting Cases On-line

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[Details](#) | [Staff Report](#) | [submit a comment](#)

## Public Comments

**2/5/06**

Jimi Hendrix

What is this, exactly? To include the parcel in what? It sure would be nice to have links to the relevant AMC.

FEB 06 2006

Municipality of Anchorage  
Zoning Division

# Zoning and Platting Cases On-line

## View Case Comments

[Submit a Comment](#)

**\*\* These comments were submitted by citizens and are part of the public record for the cases \*\***

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**1. Select a Case:**  [View Comments](#)

### 2. View Comments:

**Case Num: 2006-018**

Plan Amendment for the Hillside Wastewater Management Plan

**Location:** An amendment to the Hillside Wastewater Management Plan for Ptarmigan Roost Subdivision, Tract 1. Located east of Sandpiper Drive and south of Far View Place.

[Details](#) | [Staff Report](#) | [submit a comment](#)

## Public Comments

**1/10/06**

Carol Fries

16641 Virgo Ave

Anchorage AK 99516

It is impossible to deal what this notice is about. This is a Plan Amendment to the Hillside Wastewater Management Plan. What sort of amendment are we talking about? Are you proposing to add a parcel, remove a parcel -- what? Surely sufficient information could be posted to the web with today's technology to allow a person who goes to the trouble to review this information sufficient information to make it worth their while. PLEASE post the case....scan the submitted document and convert them to a pdf and post them. It takes less than 10 minutes. You have the technology. Thank you. Carol Fries

[Zoning & Platting Cases On-line website](#)

044

**PROPERTY  
AND  
RELATED  
CASE  
HISTORY**

CLERK'S OFFICE  
**AMENDED AND APPROVED**  
Date: 11-19-02

Submitted by: Assemblymember Tremaine  
Prepared by: Department of Assembly  
For reading: June 25, 2002

**ANCHORAGE, ALASKA**  
**AO NO. 2002-97**

**AN ORDINANCE OF THE ANCHORAGE MUNICIPAL ASSEMBLY REMOVING THE  
MAP LEGEND REFERENCE TO DWELLING DENSITY ASSOCIATED WITH SEWER  
SERVICE WITHIN THE HILLSIDE WASTEWATER MANAGEMENT PLAN**

**THE ANCHORAGE ASSEMBLY ORDAINS:**

**Section 1:** That the legend and hatched area representing "Areas recommended for public sewerage at minimum densities of 3 dwelling units per acre" from the Recommended Sewerage Areas map (originally map 9) of the Hillside Wastewater Management Plan is removed.

**Section 2:** That the following interim measure is implemented:

A. The Assembly finds the current Hillside Wastewater Management Plan no longer adequately addresses proposed residential development in areas governed by the Plan and that the public health, safety, and welfare is not well served if new residential development is prevented or proceeds while corrective amendments to the Plan are considered in the normal course of administrative review and initial review by the Planning and Zoning Commission. Accordingly, this ~~interim~~ Measure serves those interests.

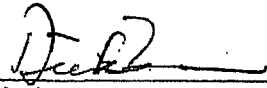
~~B. This ordinance and the amendment to the Hillside Wastewater Management Plan set forth in Section 1 above shall become effective immediately upon passage and approval of this ordinance and shall remain in effect until October 31, 2002 unless repealed before that date by the Assembly.~~

~~C. Immediately upon enactment of this ordinance, the Director of Community Planning shall submit this ordinance to the Planning and Zoning Commission for its review and recommendation as allowed under 21.10.015 and other provisions of this Title. The Commission's public hearing and final action on this ordinance together with preparation of its resolution, minutes and complete packet shall be completed in such time as to enable the Assembly to conduct a public hearing on or before October 31, 2002 and decide whether, based on the public testimony given, the staff analysis, and the recommendation of the Planning and Zoning Commission, to make permanent the amendment to the Hillside Wastewater Management Plan set forth in Section 1 above.~~

~~D. This ordinance shall be formally noticed and scheduled for Public Hearing by the Assembly as a permanent enactment of the Anchorage Assembly its regular meeting occurring immediately before October 31, 2002.~~

**Section 3:** That this ordinance shall take effect immediately upon passage and approval

PASSED AND APPROVED by the Anchorage Assembly this 19<sup>th</sup> day of November, 2002.

  
Chair

ATTEST:

  
Municipal Clerk



# MUNICIPALITY OF ANCHORAGE

## ASSEMBLY MEMORANDUM

NO. AM 667-2002

Meeting Date: July 23, 2002

**From:** Assemblymember Tremaine  
**Subject:** AO 2002-97 - REMOVING THE MAP LEGEND REFERENCE TO DWELLING DENSITY ASSOCIATED WITH SEWER SERVICE WITHIN THE HILLSIDE WASTEWATER MANGEMENT PLAN

The Hillside Wastewater Management Plan (HWWMP) was implemented by AO 82-52 on May 18, 1982. The plan governs septic systems and recommends parcels for public sewerage in the area generally south of Abbott Road and east of the Seward Highway. Some of the parcels recommended for sewerage are also recommended for rezoning to higher density of a minimum three dwelling units per acre. In addition, the plan addresses buffering between urban and rural residential areas. This part of the plan was later incorporated into AMC 21.45.200.

Since 1982 several parcels have been added to the area suitable for sewerage. In most cases the parcel owners have requested and been granted densities less than three dwelling units per area. In one case an area was removed from the area to be served by sewer. In recent years requests have increased to include parcels into the sewerage area. As property values and housing choices have changed, there have also been property owners desiring sewerage at densities of one or fewer dwelling units per acre.

The 2020 Comprehensive Plan envisions maintaining the rural character of new subdivisions along the hillside (Policy #13)<sup>1</sup>. Much of the undeveloped land in south Anchorage is geophysically challenged with steep slopes, shallow bedrock, and/or wet soils.

In order to accommodate continued development along the hillside in a manner in keeping with local geophysical constraints, the 2020 Comprehensive Plan, and neighborhood development patterns it is necessary to remove the recommendation for increased density attached to sewerage in some areas. This course of action is recommended by five community councils affected by the HWWMP and by HALO, the group representing land owners on the hillside.

Approval of AO 2002-97 is recommended..

Respectfully submitted,

Dick Tremaine  
Assemblymember

AO 2002-97.

EGJ/2002AMS/AM39

<sup>1</sup> New rural residential subdivisions shall be designed to: a) Maintain the rural character of the area; b) Link to existing adjacent road and trail systems; c) Protect, maintain, or avoid sensitive environmental areas (wetlands, steep slopes, drainage ways, unsuitable soils, geohazard areas; and, d) Incorporate wildland fire safety design standards.

CLERK'S OFFICE

APPROVED

Date: 10-23-01

NOTICE OF RECONSIDERATION WAS  
GIVEN BY MS. CLEMENTSON 10-24-01

Submitted by: Assemblymember Tremaine

Prepared by: Department of Assembly

For reading: October 23, 2001

ANCHORAGE, ALASKA

AO NO. 2001-141(S)

AN ORDINANCE AMENDING THE HILLSIDE WASTEWATER MANAGEMENT PLAN,  
ANCHORAGE MUNICIPAL CODE 21.05.030.D.4., TO ADD TO THE AREA  
RECOMMENDED FOR PUBLIC SEWERAGE THE 7 1/2 ACRE TRACT A OF BLUEBELL  
SUBDIVISION AND THE 7 1/2 ACRE TRACT A OF ASHLAND SUBDIVISION,  
GENERALLY LOCATED EAST OF GOLDENVIEW DRIVE IN THE SOUTH HILLSIDE  
AREA

THE ANCHORAGE ASSEMBLY ORDAINS:

**Section 1:** The Hillside Wastewater Management Plan, Anchorage Municipal Code  
Section 21.05.030.D.4, is hereby amended to add to the area recommended for public  
sewerage the 7 1/2 acre Tract A of Bluebell Subdivision generally located east of  
Goldenview Drive in the south Hillside area.

**Section 2:** This ordinance shall become effective immediately upon passage and  
approval by the Anchorage Assembly.

PASSED AND APPROVED by the Anchorage Assembly this 23 day of  
October, 2001.

  
Chair

ATTEST:

  
Municipal Clerk

CLERK'S OFFICE

APPROVED

Date: 6-2-98

Submitted by: Chairman of the Assembly  
at the Request of the Mayor

Prepared by: Department of Community  
Planning and Development

For reading: April 28, 1998

Anchorage, Alaska  
AO 98-78

1 AN ORDINANCE AMENDING THE HILLSIDE WASTEWATER MANAGEMENT  
2 PLAN TO INCLUDE LAND LEGALLY DESCRIBED AS THE E 1/2, W 1/2, SE 1/4,  
3 SE 1/4, & E 1/2, W 1/2, W 1/2, SE 1/4, SE 1/4 Section 28, T12N, R3W, S.M.,  
4 GENERALLY LOCATED NORTH OF DEARMOUN ROAD AND EAST OF  
5 DONALDS STREET, ENTIRELY WITHIN THE SEWERAGE AREA BOUNDARY,  
6 AND TO REDUCE THE MINIMUM REQUIRED RESIDENTIAL HOUSING DENSITY  
7 FROM 3.0 TO 2.0 DWELLING UNITS PER ACRE ON AFOREMENTIONED  
8 PROPERTY.

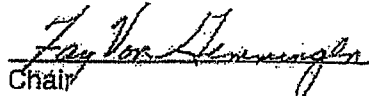
9  
10 (Huffman/O'Malley Community Council) (Planning and Zoning Commission Case 88-014)

11  
12 THE ANCHORAGE ASSEMBLY ORDAINS:

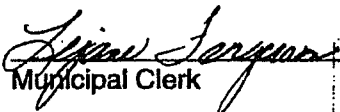
13  
14 Section 1. The *Hillside Wastewater Management Plan* is hereby  
15 amended to include land legally described as the E 1/2, W 1/2, SE 1/4, SE 1/4, & E  
16 1/2, W 1/2, W 1/2, SE 1/4, SE 1/4 Section 28, T12N, R3W, S.M., generally located  
17 north of DeArmoun Road and east of Donalds Street, entirely within the sewerage  
18 area boundary, and to reduce the minimum required residential housing density from  
19 3.0 to 2.0 dwelling units per acre on aforementioned property.

20  
21 Section 2. This ordinance shall become effective immediately upon  
22 passage and approval by the Anchorage Assembly.

23  
24 PASSED AND APPROVED by the Anchorage Assembly this 2nd  
25 day of June, 1998.

  
Chair

ATTEST:

  
Municipal Clerk

(TAX # 018-401-17)

AM 444-98



CLERK'S OFFICE

APPROVED

Date: 6-3-97

Submitted by: Chair of the Assembly at  
the Request of the Mayor  
Prepared by: Department of Community  
Planning and Development  
For reading: April 18, 1997

Anchorage, Alaska  
AO 97-64

1 AN ORDINANCE AMENDING THE HILLSIDE WASTEWATER MANAGEMENT  
2 PLAN TO INCLUDE LAND LEGALLY DESCRIBED AS THE N1/2, SW1/4, AND  
3 THE N1/2, S1/2, SW1/4 OF SECTION 2, T11N, R3W, S.M., (LOCATED  
4 IMMEDIATELY EAST OF GOLDENVUE DRIVE AND SOUTH OF 164TH  
5 AVENUE) ENTIRELY WITHIN THE SEWERAGE SERVICE AREA BOUNDARY,  
6 AND TO REDUCE THE MINIMUM REQUIRED RESIDENTIAL HOUSING DENSITY  
7 FROM 3.0 TO 1.5 DWELLING UNITS PER ACRE ON AFOREMENTIONED  
8 PROPERTY.

9  
10 (Rabbit Creek Community Council) ( Planning and Zoning Commission Case 97-005)

11  
12 THE ANCHORAGE ASSEMBLY ORDAINS:

13  
14 Section 1. The *Hillside Wastewater Management Plan* is hereby  
15 amended to include land legally described as the N1/2, SW1/4, and the N1/2, S1/2,  
16 SW1/4 of Section 2, T11N, R3W, S.M., entirely within the sewerage service area  
17 boundary, and to reduce the minimum required residential housing density from 3.0  
18 to 1.5 dwelling units per acre on aforementioned property.

19  
20 Section 2. This ordinance shall become effective immediately upon  
21 passage and approval by the Anchorage Assembly.

22  
23 PASSED AND APPROVED by the Anchorage Assembly this 3rd  
24 day of June, 1997.

25  
26  
27 ATTEST:

  
Chair

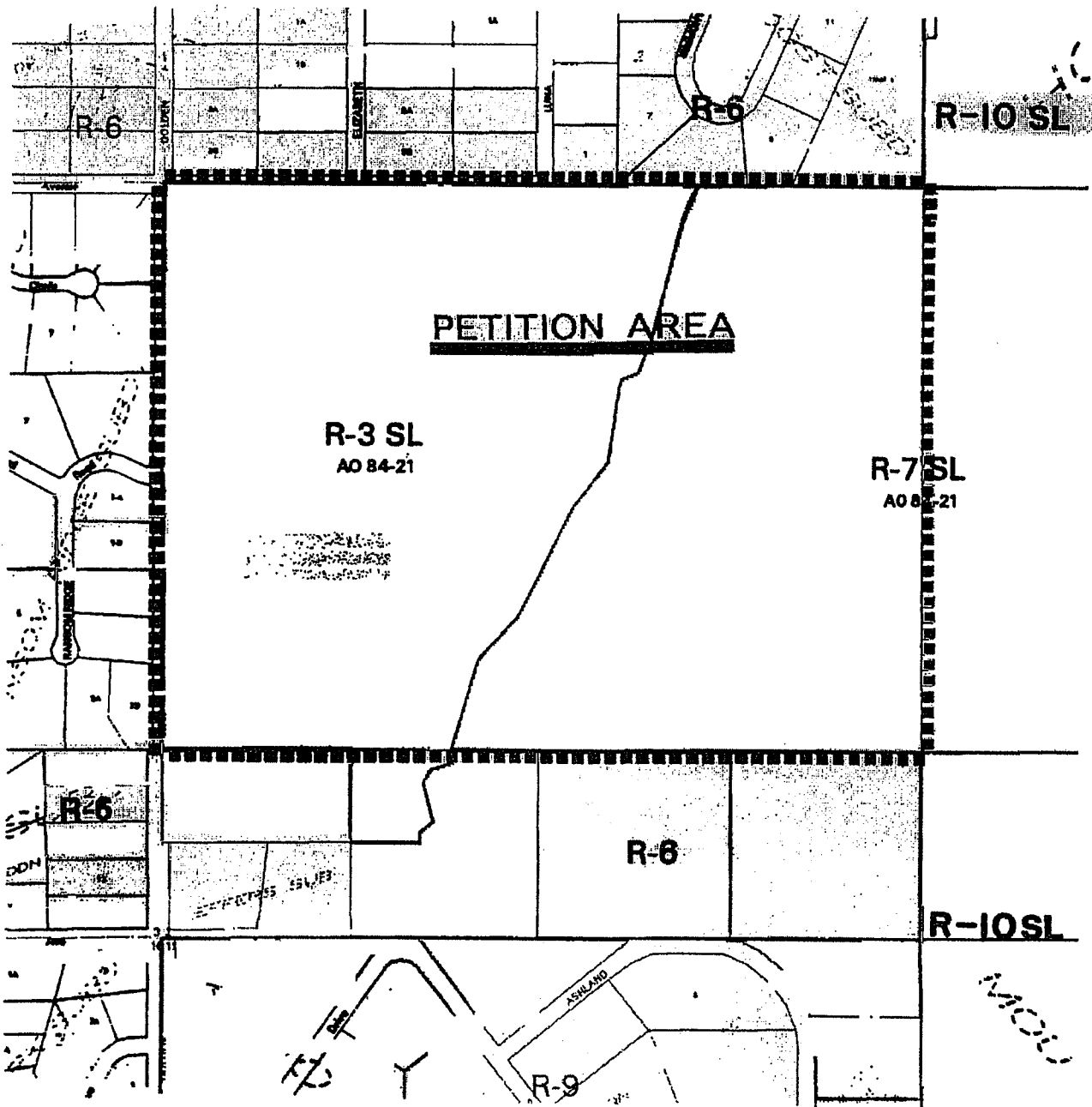
  
Municipal Clerk



(97-005)  
(TAX # 020-101-01)

AM 331-97

051

**97-005**  
**PLAN AMENDMENT**



 100 Year Floodplain  
 500 Year Floodplain



AMENDED AND APPROVED

DATE 5-18-82

Submitted by: Chairman of the Assembly  
at the Request  
of the Mayor

Prepared by: Department of Law  
For Reading: March 30, 1982

ANCHORAGE, ALASKA  
AO NO. 82- 52

AN ORDINANCE ADOPTING THE HILLSIDE WASTEWATER MANAGEMENT PLAN  
AS AN ELEMENT OF THE COMPREHENSIVE PLAN.

THE ANCHORAGE ASSEMBLY ORDAINS:

Section 1. That the Hillside Wastewater Management Plan dated February, 1982 and the Transition Area Standards in the Hillside Wastewater Management Plan Technical Report dated January, 1982, copies of which are attached hereto, are hereby adopted as elements of the Municipal Comprehensive Development Plan.

Section 3.

~~Section 2.~~ Section 21.05.105 of the Anchorage Municipal Code is hereby amended by the addition of a new subsection T to read as follows:


21.05.105 Incorporation of additional elements as  
part of Comprehensive Development Plan.

T. The Hillside Wastewater Management Plan dated  
February, 1982 and the Transition Area Standards in  
the Hillside Wastewater Management Plan Technical  
Report dated January, 1982.

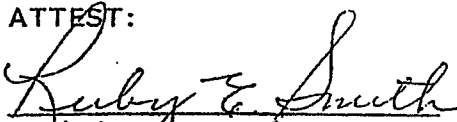
Section 4.

~~Section 3.~~ This ordinance shall become effective upon passage and approval by the Anchorage Assembly.

PASSED AND APPROVED by the Anchorage Assembly this 18th day  
of May, 1982.

  
Chairman of the Assembly

ATTEST:

  
Municipal Clerk

Amendment to AO 82-52, adopting the Hillside Wastewater Management Plan as an element of the Comprehensive Plan.

1. Add a new Section 2, to read: Chapter 21.05 of the Anchorage Municipal Code is hereby amended to add a new section to read as follows:

21.05.102 Implementation - Hillside Wastewater Management Plan.

The Hillside Wastewater Management Plan recommends extension of the public sewer system to the areas shown on sheets 1 and 2 of Map 9 of the plan. Extension of the public sewer system into these areas will make possible higher density development than is allowed by the present zoning. To protect neighboring lower density developments existing as of the date of adoption of the Hillside Wastewater Management Plan, any rezoning of property within the sewerage area shown on Map 9 from lower to higher density shall be allowed only with special limitations which address the issues of buffering, internal circulation, drainage and protection of vegetation if the property for which the rezoning is sought is contiguous to an existing lower density development. The standards to be applied in determining the precise form of the special limitations are those found in Chapter 6 of the Hillside Wastewater Management Plan Technical Report dated January, 1982.

2. The Hillside Wastewater Plan was amended as follows:
  - a. Page 1 of Map 9 was amended by drawing a blue line around the Green Forest Subdivision and stating that the transitional standards specified on page 45 be applied to the area.
  - b. By deleting the first paragraph on page 31 of the plan.

### Content Information

**Content ID :** 003832

**Type:** Ordinance - AO

**Title:** An Ordinance Amending the Hillside Wastewater Management Plan, AMC 21.05.030.D.4., to Add to the Area Recommended for Public Sewerage the 5.84-Acre Tract 1 of Ptarmigan Roost Subdivision, Generally Located East of Golden View Drive in South Hillside Area

**Author:** perrysu

**Initiating Dept:** Planning

**Description:** Hillside Wastewater Management Plan Amendment, Ptarmigan Roost Subdivision, Tract 1

**Keywords:** Hillside Wastewater Management Plan Amendment

**Date Prepared:** 3/30/06 3:37 PM

**Director Name:** Tom Nelson

**Assembly Meeting Date** 4/18/06  
**MM/DD/YY:**

**Public Hearing Date** 5/2/06  
**MM/DD/YY:**

### Workflow History

Workflow Name	Action Date	Action	User	Security Group	Content ID
AllOrdinanceWorkflow	3/30/06 3:47 PM	Checkin	perrysu	Public	003832
Planning_SubWorkflow	3/30/06 8:06 PM	Approve	nelsontp	Public	003832
ECD_SubWorkflow	3/31/06 11:38 AM	Approve	thomasm	Public	003832
OMB_SubWorkflow	4/4/06 10:15 AM	Approve	mitsonjl	Public	003832
Legal_SubWorkflow	4/4/06 10:23 AM	Approve	fehlenrl	Public	003832
MuniManager_SubWorkflow	4/7/06 11:34 AM	Approve	leblancdc	Public	003832
MuniMgrCoord_SubWorkflow	4/7/06 2:18 PM	Approve	curtiscr	Public	003832

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